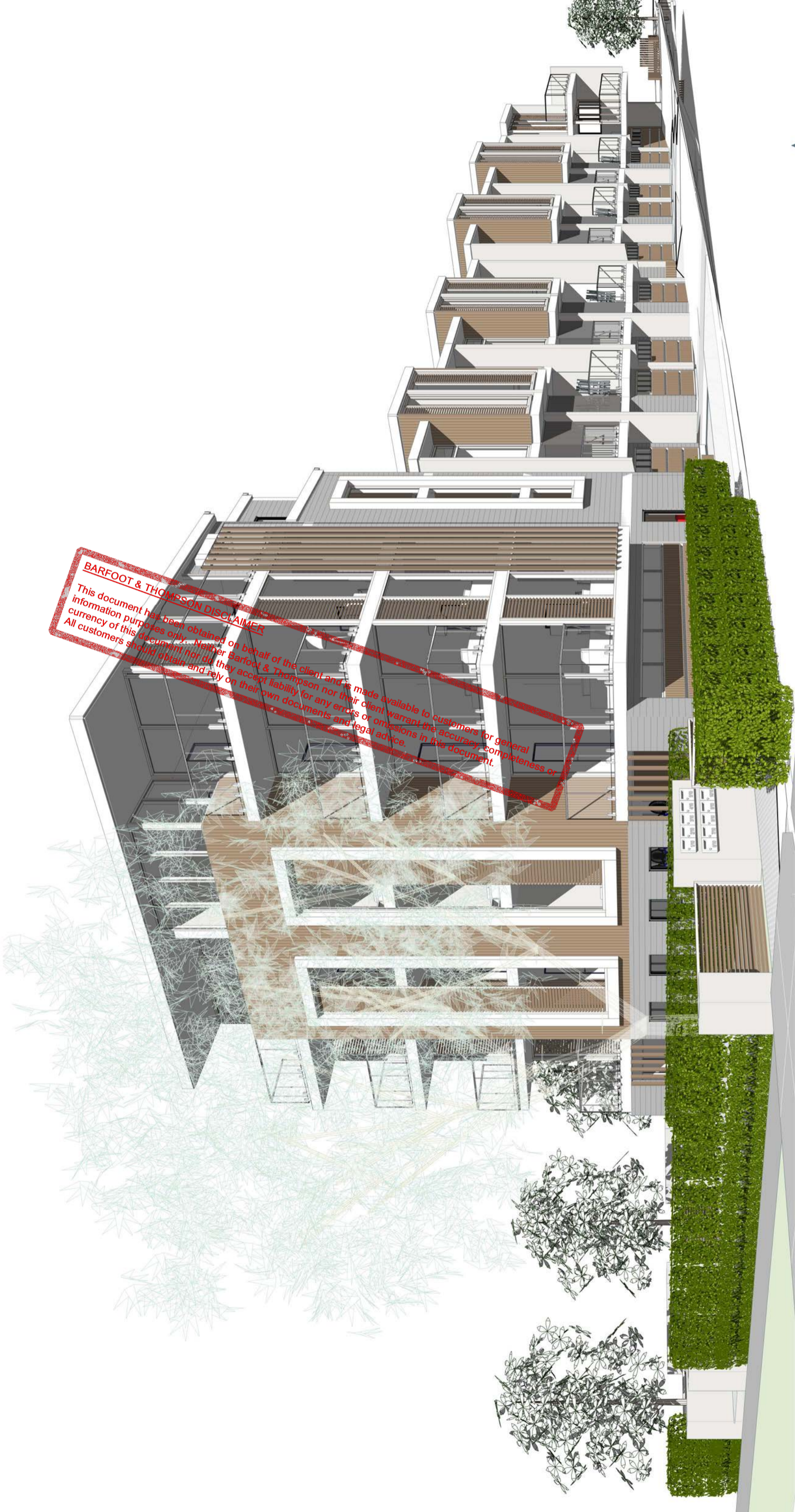


ARCHITECTURAL DRAWINGS FOR LAND USE AND SUBDIVISION CONSENT



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10 TAWERA ROAD, GREENLANE, AUCKLAND 1051



Level 2, 646 Great South Road,
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artitect@hotmail.com

DRAWING INDEX	
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A01	3D VIEW
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No.	Description	Date
A	RC APPLICATION	15/04/2021
B	S92	06/07/2021

CLIENT
Mrs. Sixiao Liu

PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
3D VIEW

DESIGN
WS LL

ISSUE DATE
06/07/2021

SCALE
1 : 10 @A1

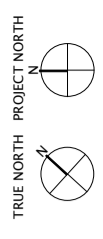
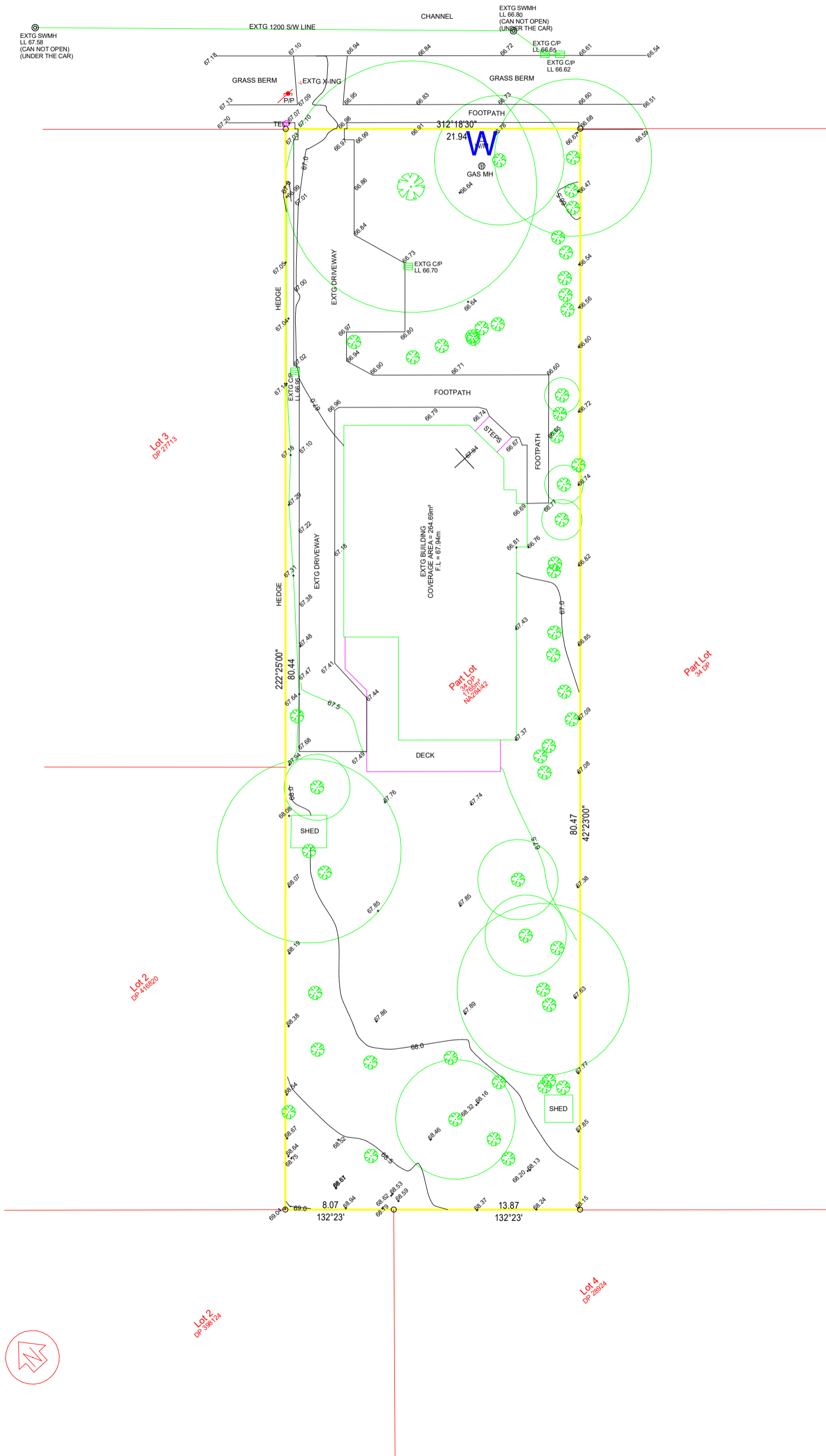
SHEET No.
A01

REVISION
B

GENERAL NOTES:

1. ALL TIMBER CONSTRUCTION TO COMPLY WITH NZS 3604 2011.
2. ALL CONSTRUCTION TO COMPLY WITH THE RELEVANT CLAUSES OF THE NZBC & THE NZ BUILDING ACT.
3. SURVEYOR TO CONFIRM AND SETOUT ALL BOUNDARY WALLS AND FENCES.
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11. CHECK ON SITE ALL WINDOW SIZES FOR MANUFACTURE.
12. FOR INSTALLING SAFETY CLAZING IN WET AREA, REFER NZS 4223 PART 3 FIGURE 3.04, AND CLAUSE 3.03.7.
13. WHEN ERROR OCCURS, MANUFACTURER'S DETAILS TAKE PRECEDENT OVER DETAILS, DETAILS TAKE PRECEDENT OVER PLANS. PLANS TAKE PRECEDENT OVER KEYNOTES.

TAWERA ROAD



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CLIENT
Mrs. Sixiao Liu

PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
SURVEY PLAN

DESIGN	DRAWN	ISSUE DATE
WS	LL	06/07/2021
SCALE	1 : 150	@A1
SHEET No.		REVISION

A02 B

Proposed Gross Floor area:

Apartment:
 Ground Floor area: 177.3 m²
 Level 1 area: 191 m²
 Level 2 area: 185 m²
 Level 3 area: 186.6 m²
 Level 4 area: 166.7 m²
 Total Gross floor area: 906.6 m²

Terrace: (T1 – T8 one Lot)

Ground Floor area: 68.9m²
 Level 1 area: 73.4m²
 Level 2 area: 66.1m²

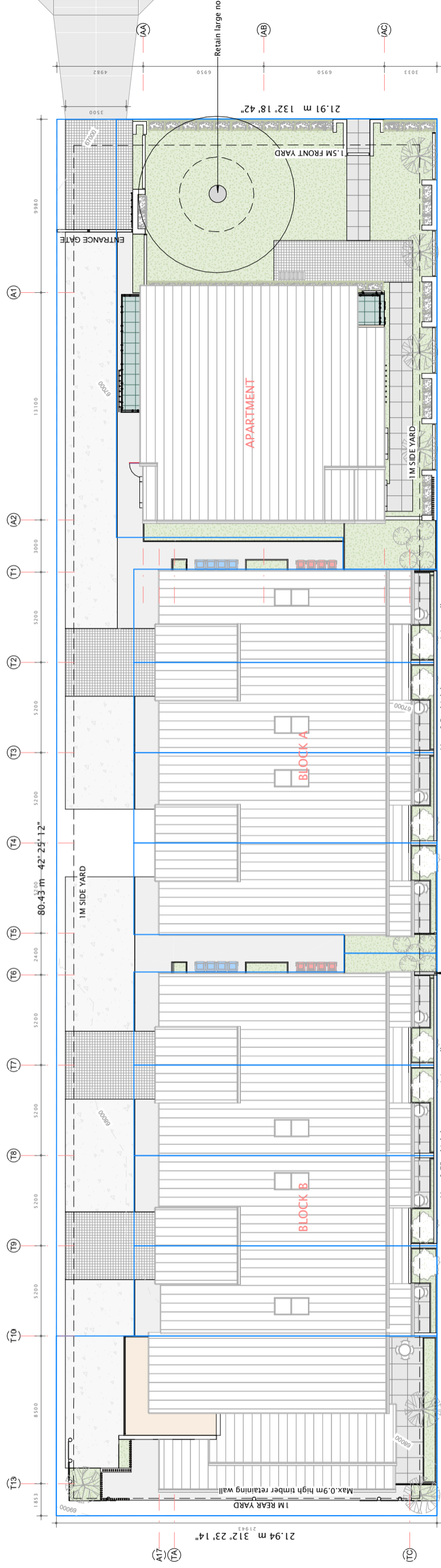
Total Gross Floor Area: 208.4m²
 Total Terrace GFA: 208.4x8=1667.2m²

T9:

Ground Floor area: 103.4m²
 Level 1 area: 98.8m²
 Level 2 area: 73.5 m²

Total Gross Floor Area: 275.7m²

1 SITE PLAN
 SCALE: 1 : 125



Overall site legal description

Address: 10 TAWERA ROAD, GREENLANE, AUCKLAND 1051

Total Site Area: 1765m²
 Legal Description: Pt Lot 34 DP3317
 CT Number: NA284/42
 Wind Zone: Low
 Corrosion Zone: Zone C
 Earthquake Zone: Zone 1

Town planning (Unitary plan: Terrace Housing and Apartment Building Zone)

Building Height: 16m Max Complies

AHRB: 8m+60° to side boundary within 20m
 Vertically 8m+2m perpendicular +60° to side boundary beyond 20m
 3m+45° to rear boundary

Yard: 1.5m Front yard, 1m side and rear yard
 Complies

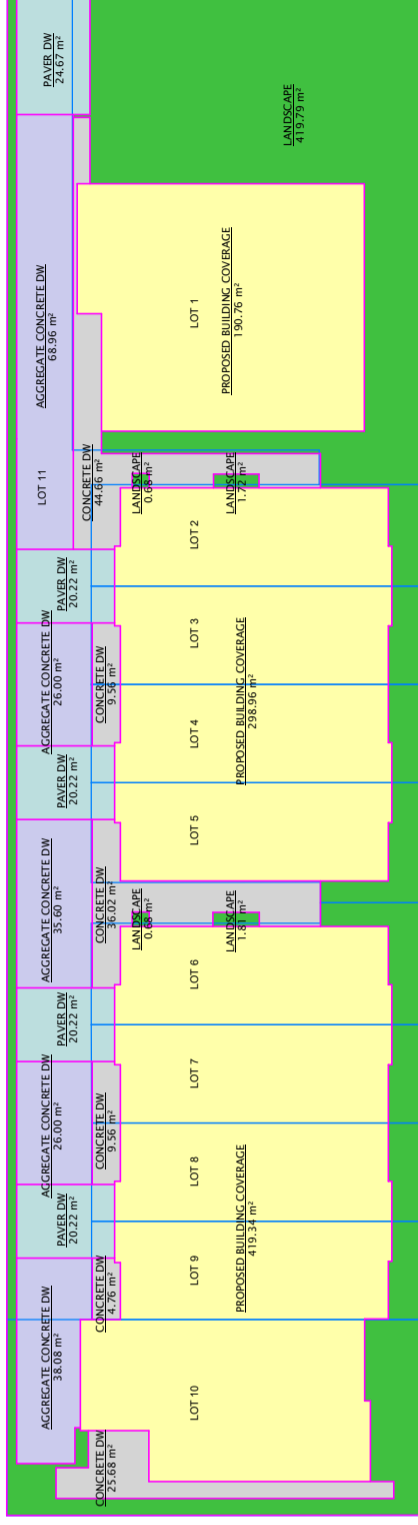
Building Coverage:
 Maximum building coverage: 50%
 Actual building coverage: 909m² / 1765m² = 51.5% > 50%

Impervious Area:
 Maximum impervious area: 70%
 Actual Impervious Area: 1.234m² / 1765m² = 70% = 70%

Landscaped Area:
 Minimum landscaped: 30%
 Actual Landscaped area: 425m² / 1765m² = 24.1% < 30%

TOWN PLANNING		
Name	Area	Percentage
AGGREGATE CONCRETE DW	194.63 m ²	11%
CONCRETE DW	130.23 m ²	7%
PROPOSED BUILDING COVERAGE	909.05 m ²	52%
IMPREVIOUS: 14	1233.91 m ²	70%
LANDSCAPE	424.67 m ²	24%
PAVER DW	105.56 m ²	6%
PERMEABLE: 10	530.23 m ²	30%
Grand total: 24	1764.14 m ²	100%

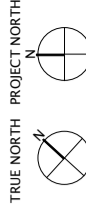
Site Area	Building coverage		Impervious area	Landscaping area			
	Building coverage	Impervious area					
Lot 10	455m ²	191m ²	42%	207m ²	45%	248m ²	55%
Lot 1	93m ²	75m ²	80%	81m ²	86%	10m ²	11%
Lot 2	91m ²	75m ²	82%	80m ²	88%	9m ²	10%
Lot 3	91m ²	75m ²	82%	80m ²	88%	9m ²	10%
Lot 4	98m ²	75m ²	77%	81m ²	83%	15m ²	15%
Lot 5	98m ²	75m ²	75%	82m ²	82%	15m ²	15%
Lot 6	91m ²	75m ²	75%	82m ²	82%	15m ²	15%
Lot 7	91m ²	75m ²	75%	82m ²	82%	15m ²	15%
Lot 8	91m ²	75m ²	75%	82m ²	82%	15m ²	15%
Lot 9	227m ²	120m ²	53%	171m ²	75%	56m ²	25%
Lot 100	339m ²	N/A	N/A	190m ²	57%	38m ²	11%



ROOM SCHEDULE				
Name	BEDROOM	BATHROOM	CAR PARK	NET INTERNAL FLOOR AREA
A1-1	2	2	0	75m ²
A1-2	2	2	0	66m ²
A2-1	2	2	0	75m ²
A2-2	2	2	0	66m ²
A3-1	2	2	0	75m ²
A3-2	2	2	0	60m ²
A4-1	1	2	0	66m ²
A4-2	1	1	0	46m ²

ROOM SCHEDULE				
Name	BEDROOM	BATHROOM	CAR PARK	NET INTERNAL FLOOR AREA
T1	4	3.5	2	150m ²
T2	4	3.5	2	150m ²
T3	4	3.5	2	150m ²
T4	4	3.5	2	150m ²
T5	4	3.5	2	150m ²
T6	4	3.5	2	150m ²
T7	4	3.5	2	150m ²
T8	4	3.5	2	150m ²
T9	5	3	1	206m ²

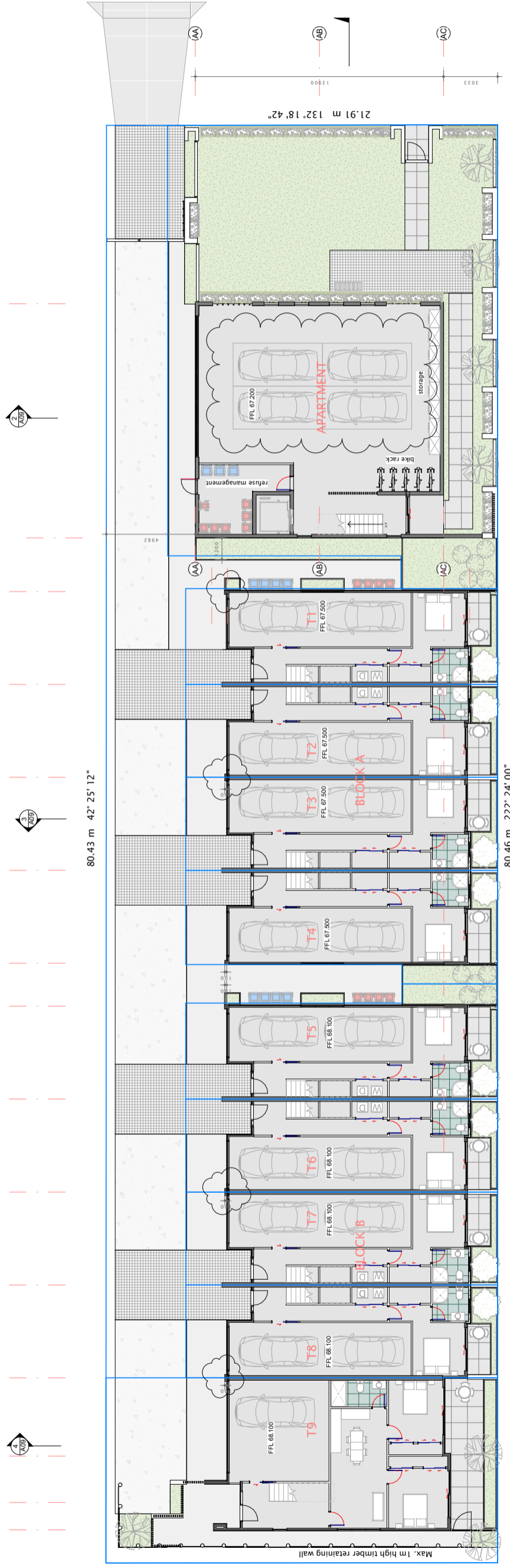
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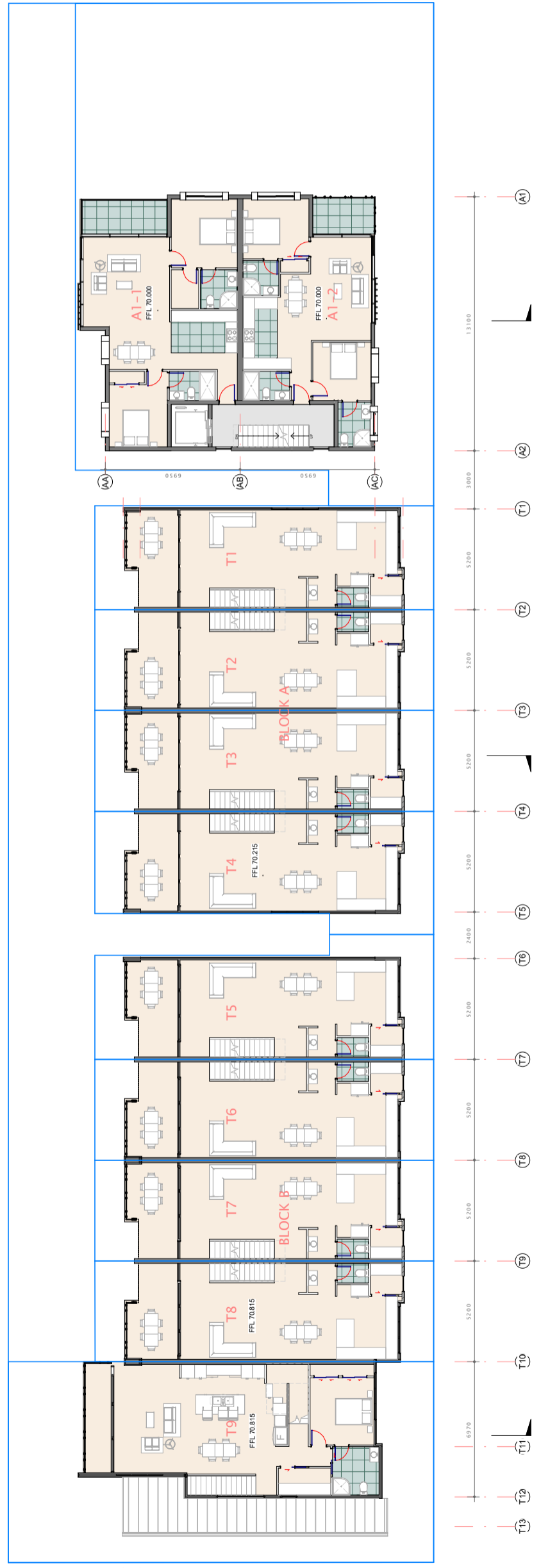
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 WS LL
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 SHEET NO. A03 B
 ISSUE DATE 06/07/2021
 REVISION

GENERAL NOTES:

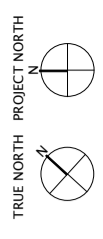
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1. GROUND FLOOR PLAN
SCALE: 1 : 125



2. L1 FLOOR PLAN
SCALE: 1 : 125



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No.	Description	Date
A	RC APPLICATION	15/04/2021
B	SB2	08/07/2021
C	TRAFFIC	22/09/2021

CLIENT
Mrs. Sixiao Liu

PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
FLOOR PLANS 1

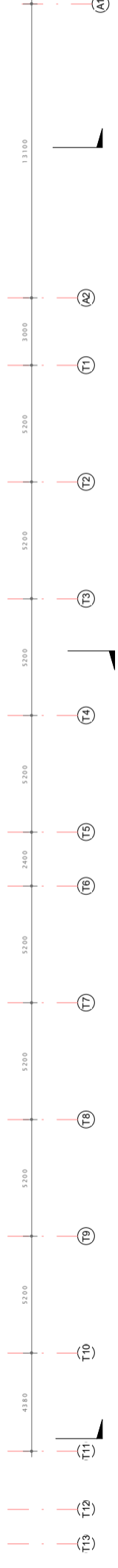
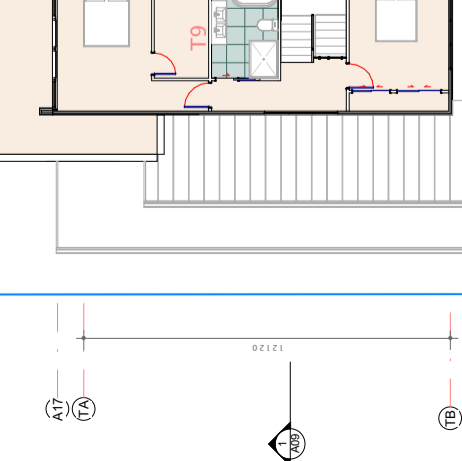
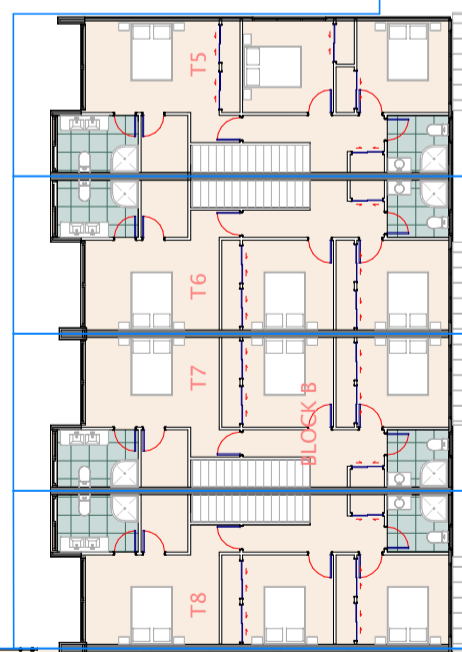
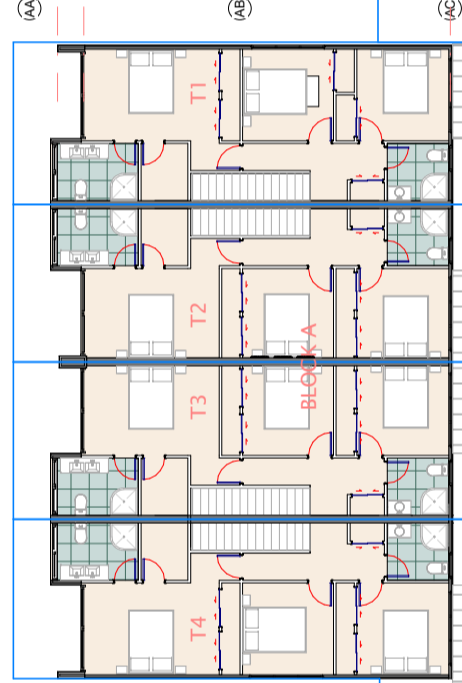
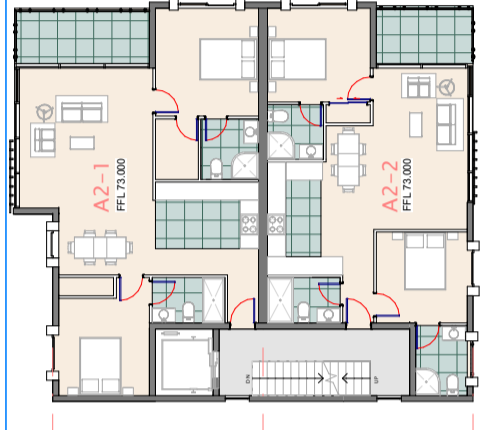
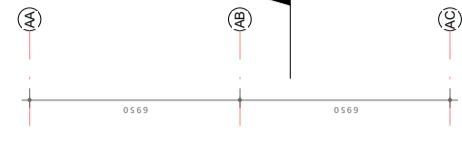
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WS	LL	22/09/2021

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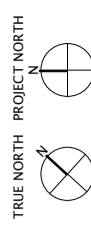
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A04 C

GENERAL NOTES:

1. ALL TIMBER CONSTRUCTION TO COMPLY WITH NZS 3604 2011.
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1 3. L2 FLOOR PLAN
SCALE: 1 : 125



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artitect@hotmail.com LBP 111048

No.	Description	Date
A	RC APPLICATION	15/04/2021
B	SB2	06/07/2021

CLIENT
Mrs. Sixiao Liu

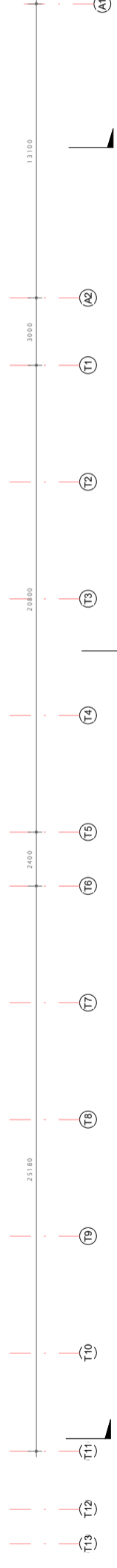
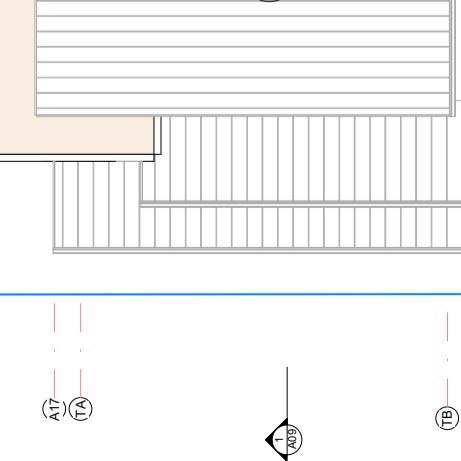
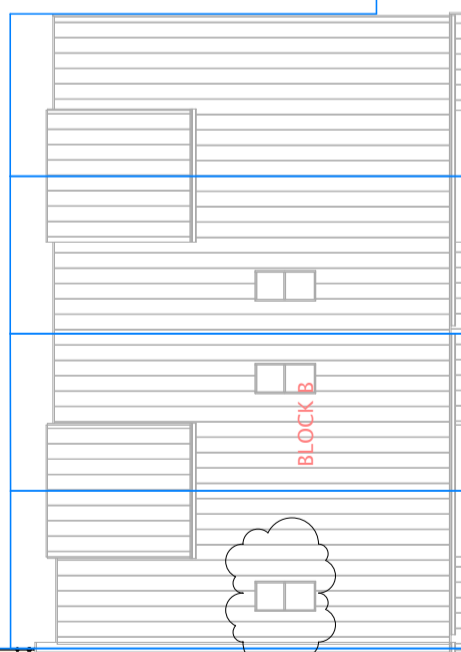
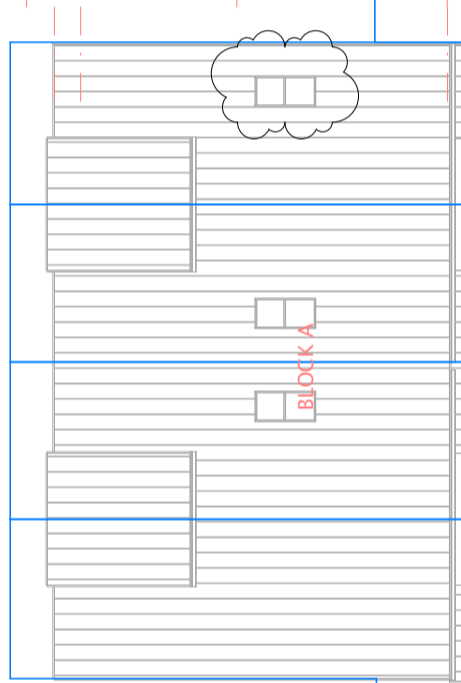
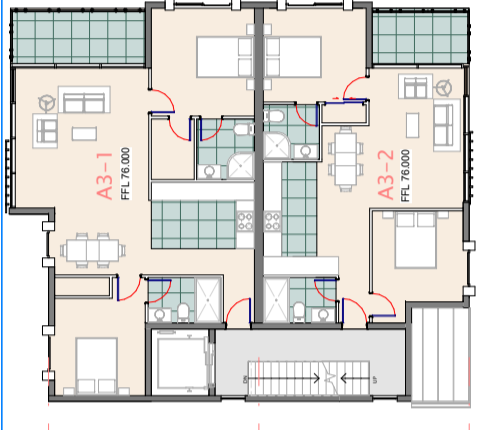
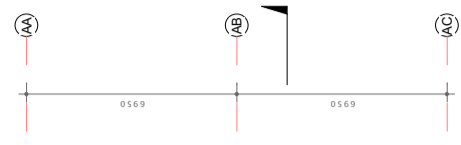
PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
FLOOR PLANS 2

DESIGN	DRAWN	ISSUE DATE
WS	LL	06/07/2021

SCALE 1 : 125 @A1

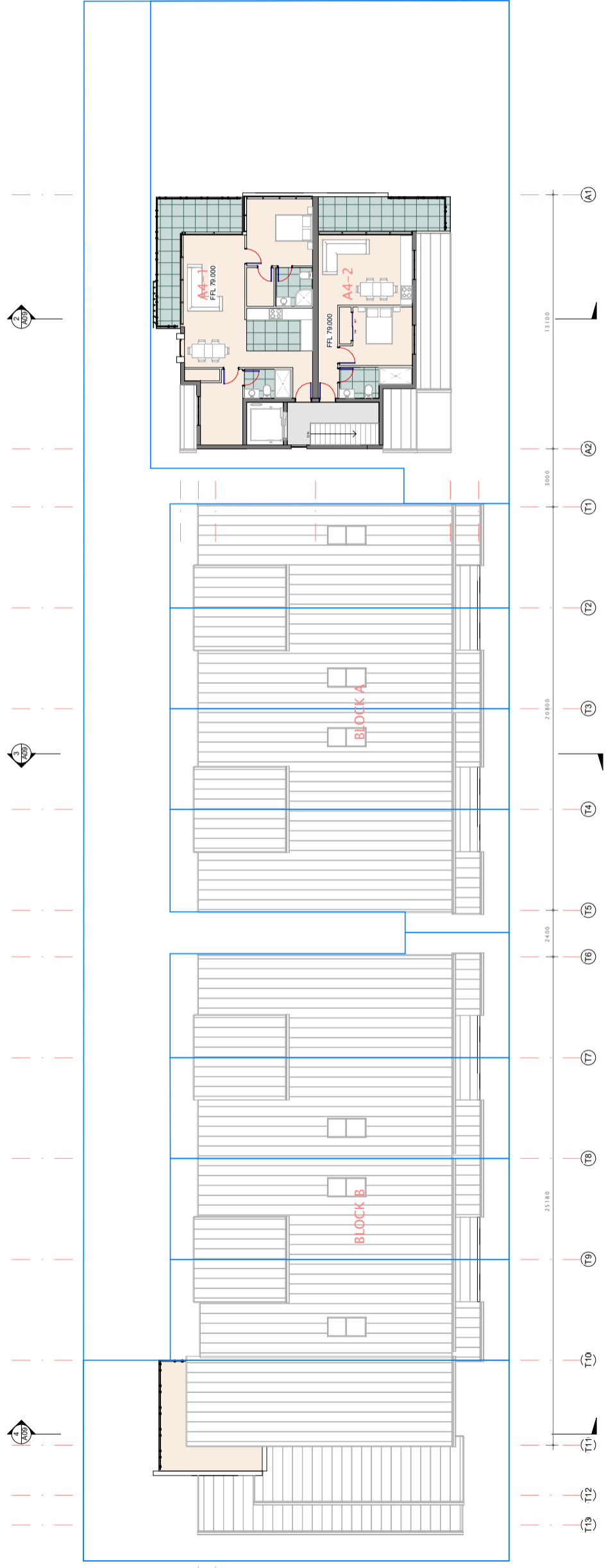
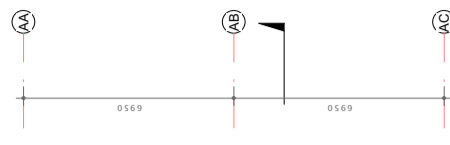
SHEET No. **A05**
REVISION **B**



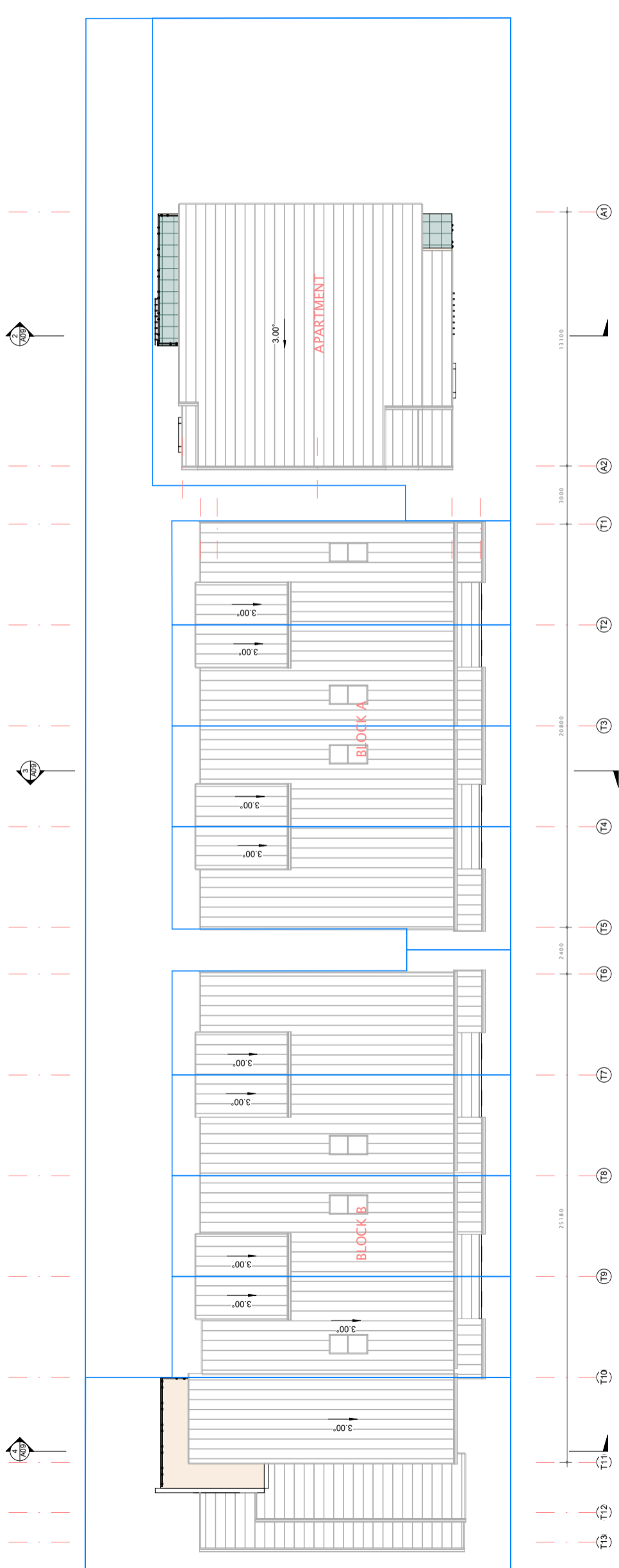
2 4. L3 FLOOR PLAN
SCALE: 1 : 125

GENERAL NOTES:

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1 5. L4 FLOOR PLAN
SCALE: 1 : 125



2 6. ROOF PLAN
SCALE: 1 : 125

TRUE NORTH PROJECT NORTH



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Eilerslie, Auckland 1051
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architect@hotmail.com LBP 111048

No.	Description	Date
A	RC APPLICATION	15/04/2021
B	SB2	06/07/2021

CLIENT
Mrs. Sixiao Liu

PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
FLOOR PLANS 3

DESIGN	DRAWN	ISSUE DATE
WS	LL	06/07/2021

SCALE 1 : 125 @A1

SHEET NO. REVISION

A06 B

GENERAL NOTES:

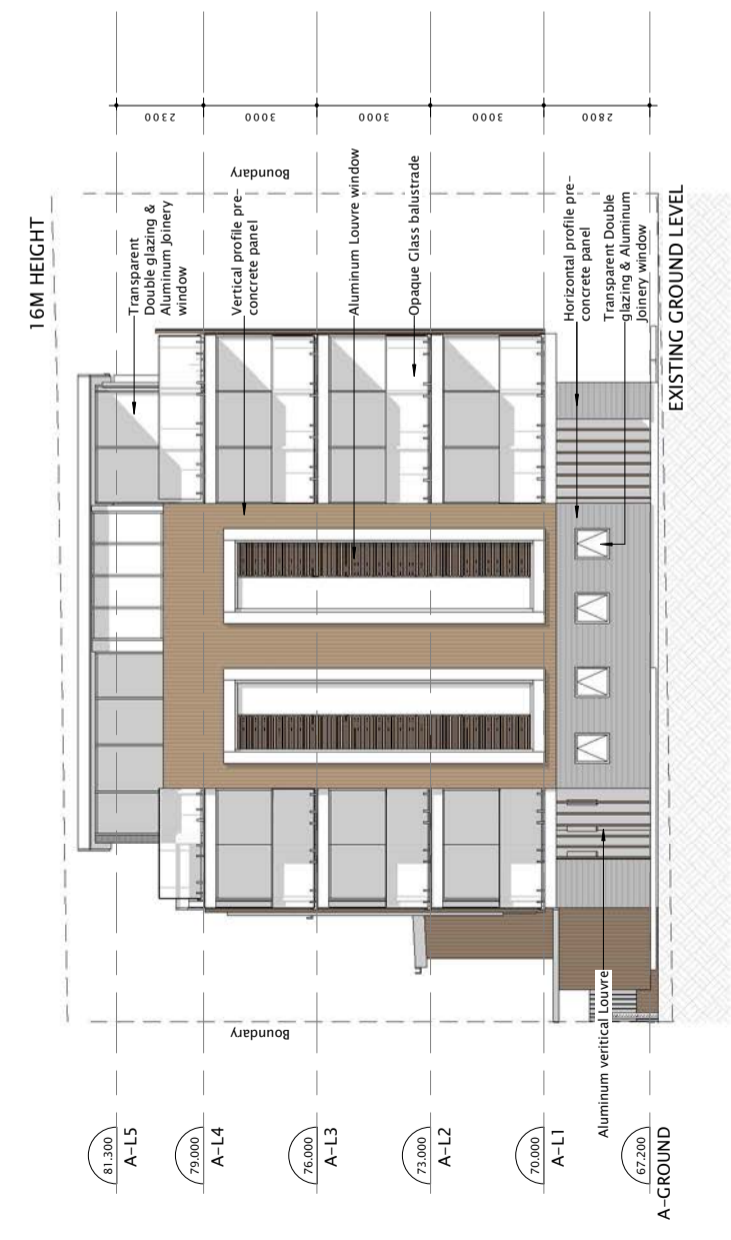
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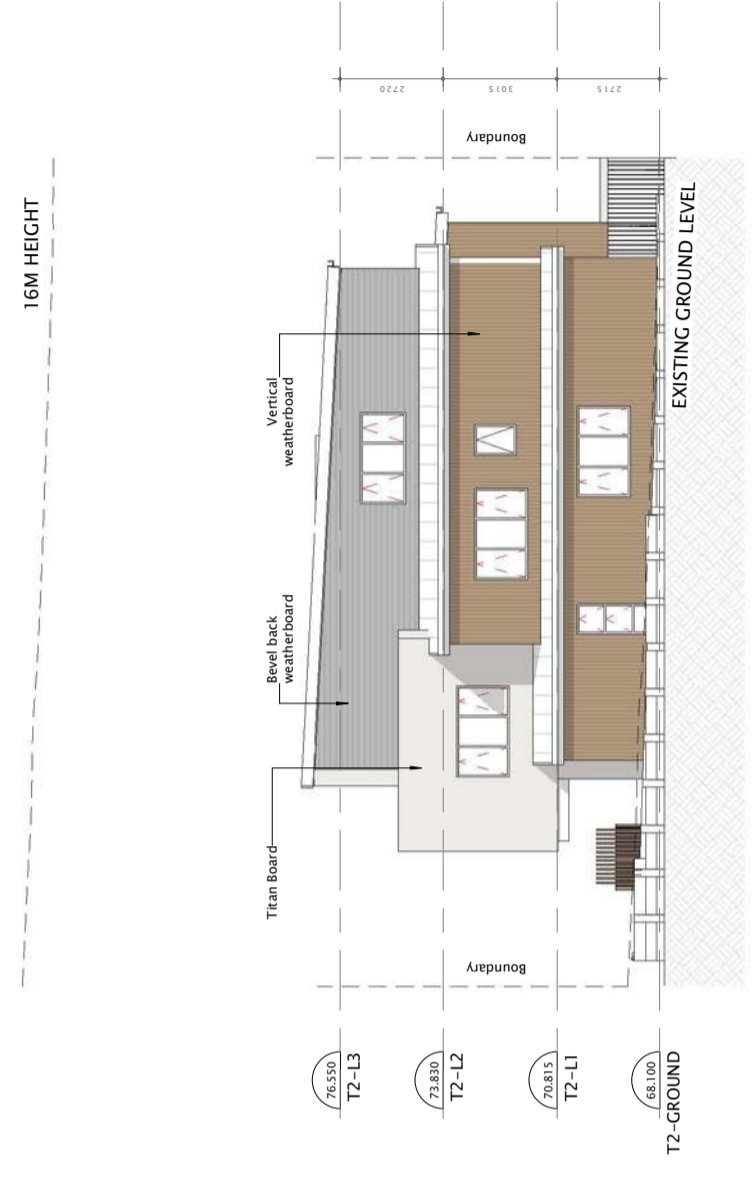
1 NORTH ELEVATION
SCALE: 1 : 150



2 SOUTH ELEVATION
SCALE: 1 : 150



3 APRT EAST ELEVATION
SCALE: 1 : 100



4 T2-WEST ELEVATION
SCALE: 1 : 100



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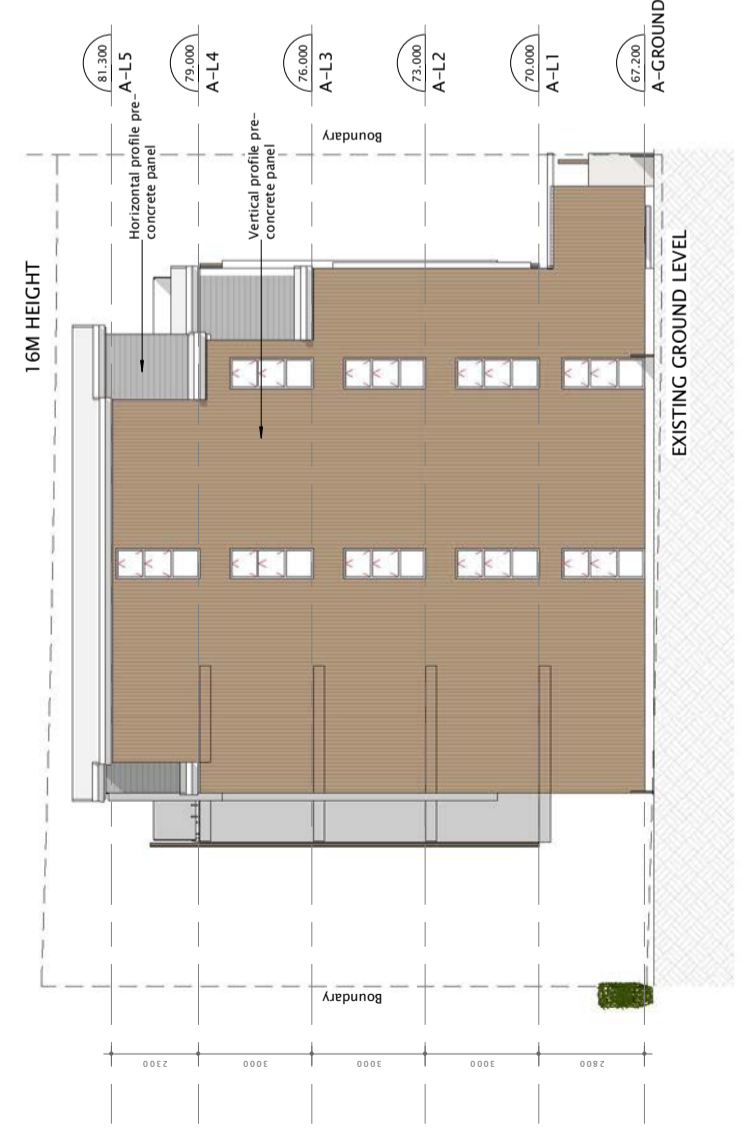
PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
ELEVATIONS 1

DESIGN DRAWN WS LL
ISSUE DATE 06/07/2021

SCALE As indicated @A1

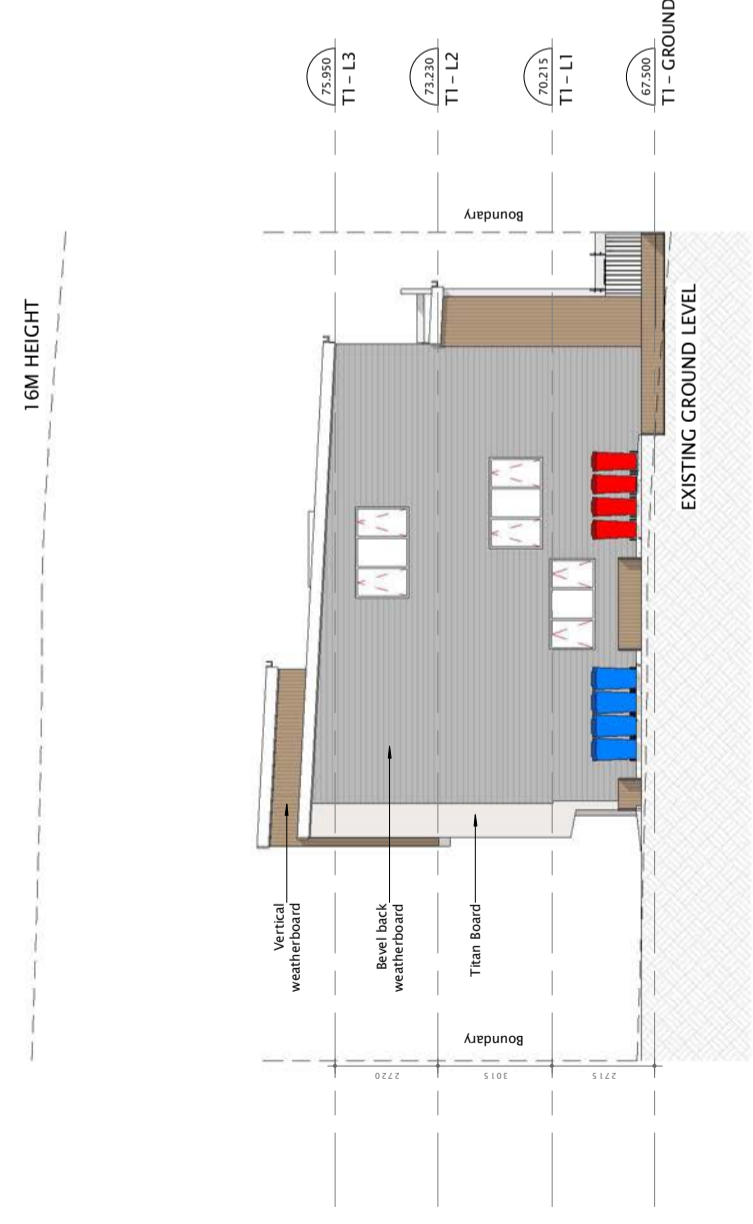
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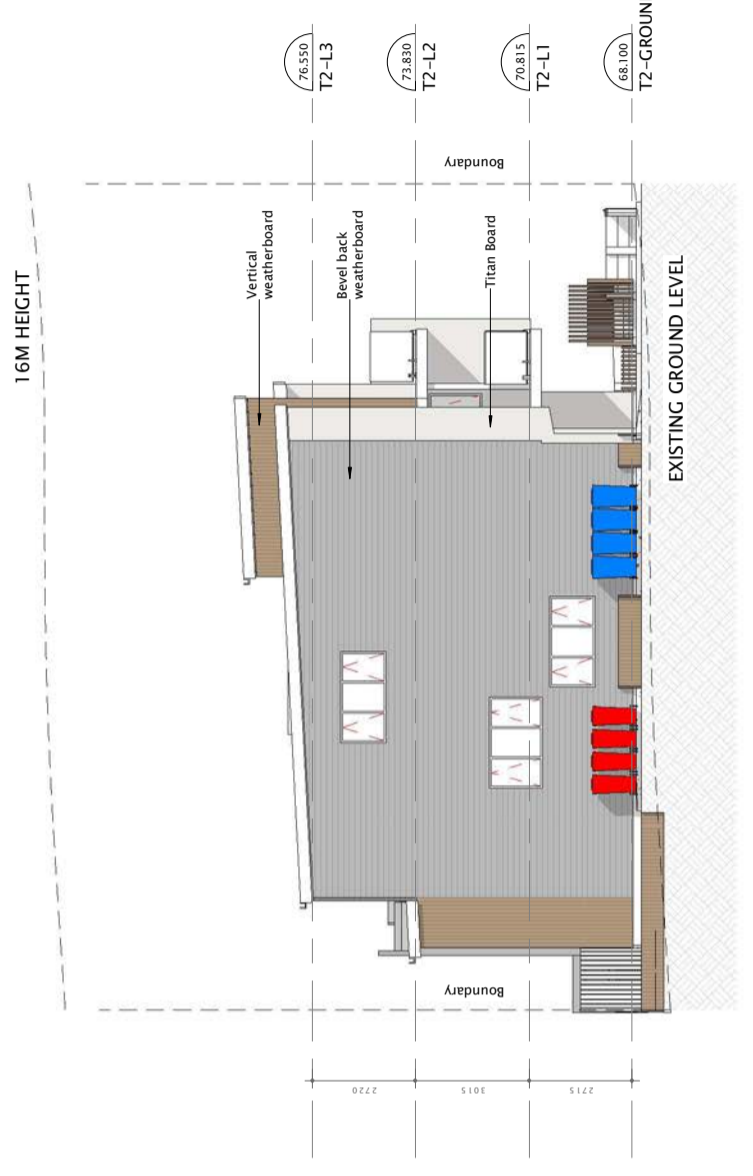
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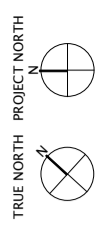
2 BLOCK A EAST ELEVATION
SCALE: 1 : 100



3 BLOCK A WEST ELEVATION
SCALE: 1 : 100



4 BLOCK B EAST ELEVATION
SCALE: 1 : 100



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10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
ELEVATIONS 2

DESIGN
WS LL

DRAWN
LL

ISSUE DATE
06/07/2021

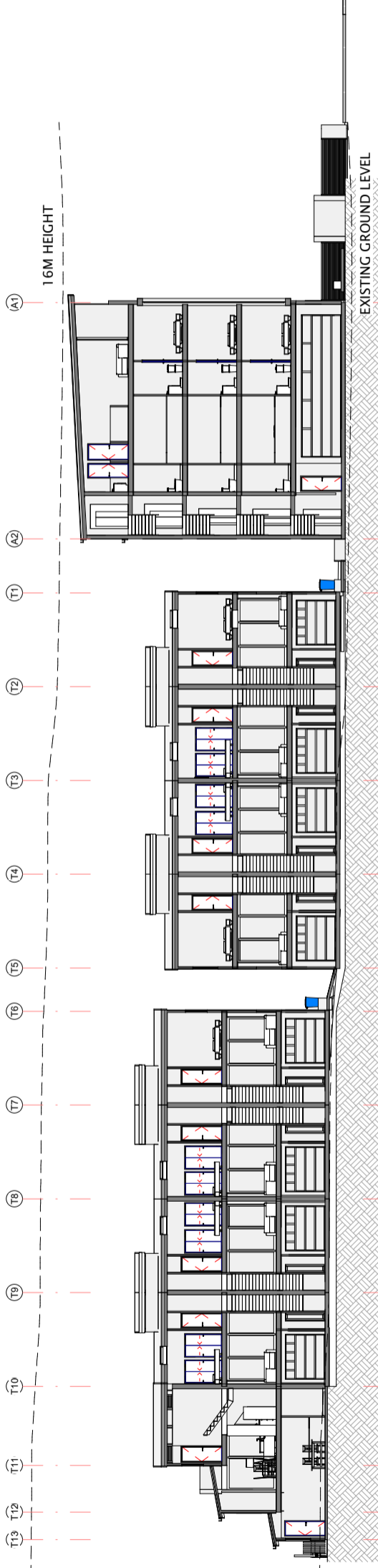
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SHEET NO.
A08 B

REVISION

GENERAL NOTES:

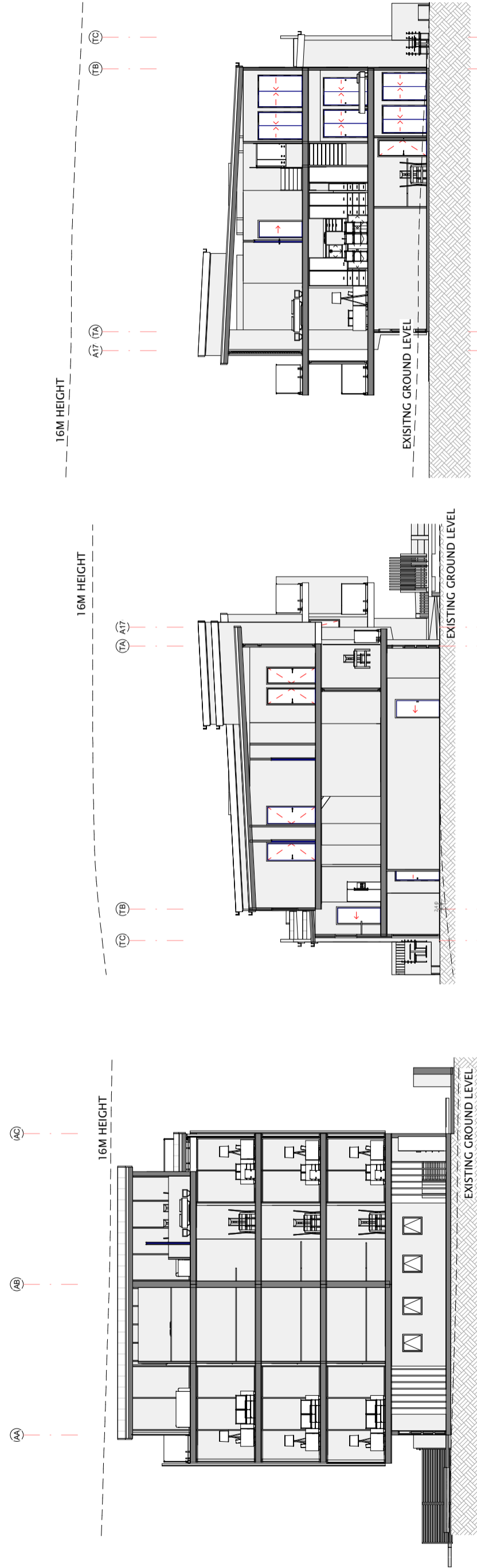
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9. REFER TO SPECIFICATION FOR SCHEDULE OF FINISHES & MATERIAL.
10. TANK ENTIRE BATHROOM FLOORS & 150mm UP WALLS UNDER FLOOR FINISH.
11. CHECK ON SITE ALL WINDOW SIZES FOR MANUFACTURE.
12. FOR INSTALLING SAFETY GLAZING IN WET AREA, REFER NZS 4223 PART 3 FIGURE 3.04, AND CLAUSE 303.7.
13. WHEN ERROR OCCURS, MANUFACTURER'S DETAILS TAKE PRECEDENT OVER DETAILS, DETAILS TAKE PRECEDENT OVER PLANS. PLANS TAKE PRECEDENT OVER KEYNOTES.



1 LONG SECTION 1
SCALE: 1 : 150



5 LONG SECTION 2
SCALE: 1 : 150



2 A-SHORT SECTION
SCALE: 1 : 100

3 T1-SHORT SECTION
SCALE: 1 : 100

4 T2-SHORT SECTION
SCALE: 1 : 100



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No.	Description	Date
A	RC APPLICATION	15/04/2021
B	S92	06/07/2021

CLIENT
Mrs. Sixiao Liu

PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
SECTIONS

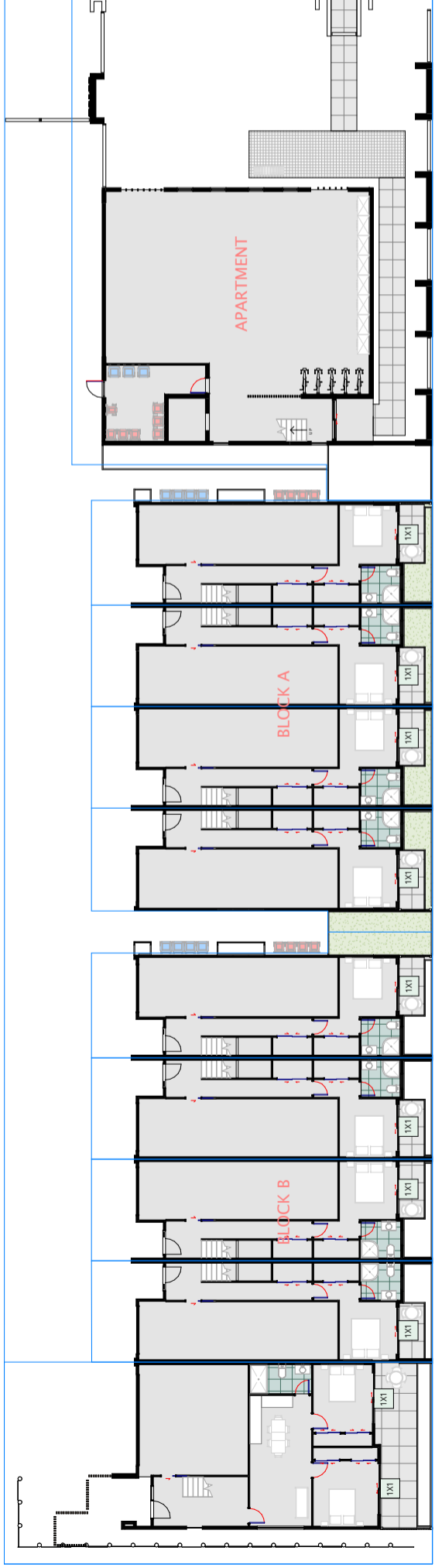
DESIGN	DRAWN	ISSUE DATE
WS	LL	06/07/2021

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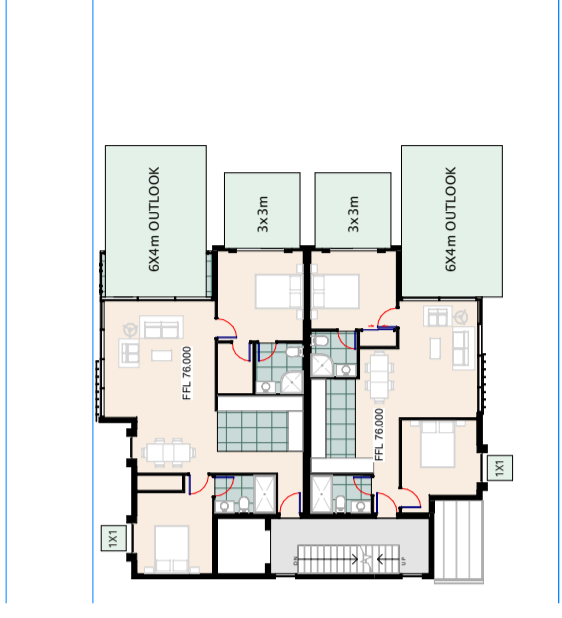
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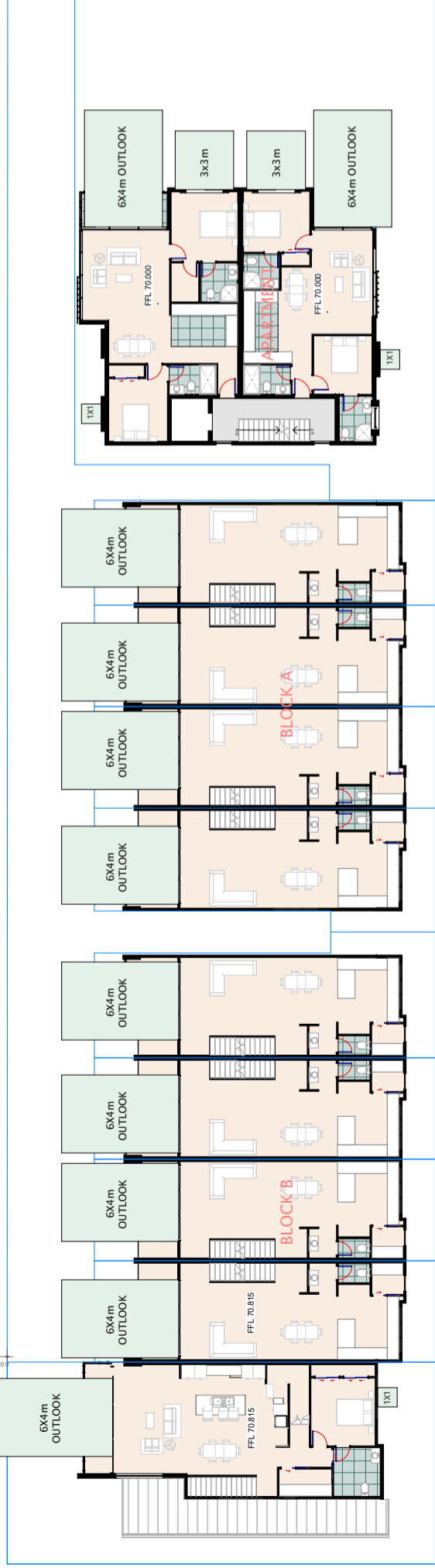
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11. CHECK ON SITE ALL WINDOW SIZES FOR INSTALLING SAFETY GLAZING IN WET AREA, REFER NZS 4223 PART 3 FIGURE 3.04, AND CLAUSE 303.7.
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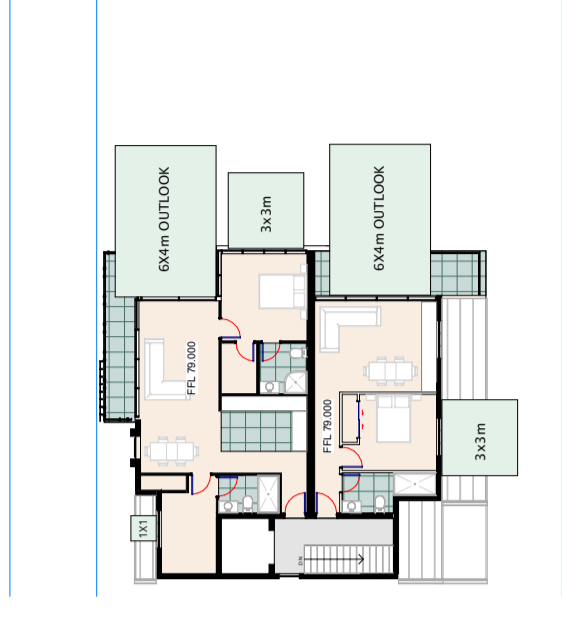
1 1. GROUND FLOOR OUTLOOK
A07 SCALE: 1 : 150



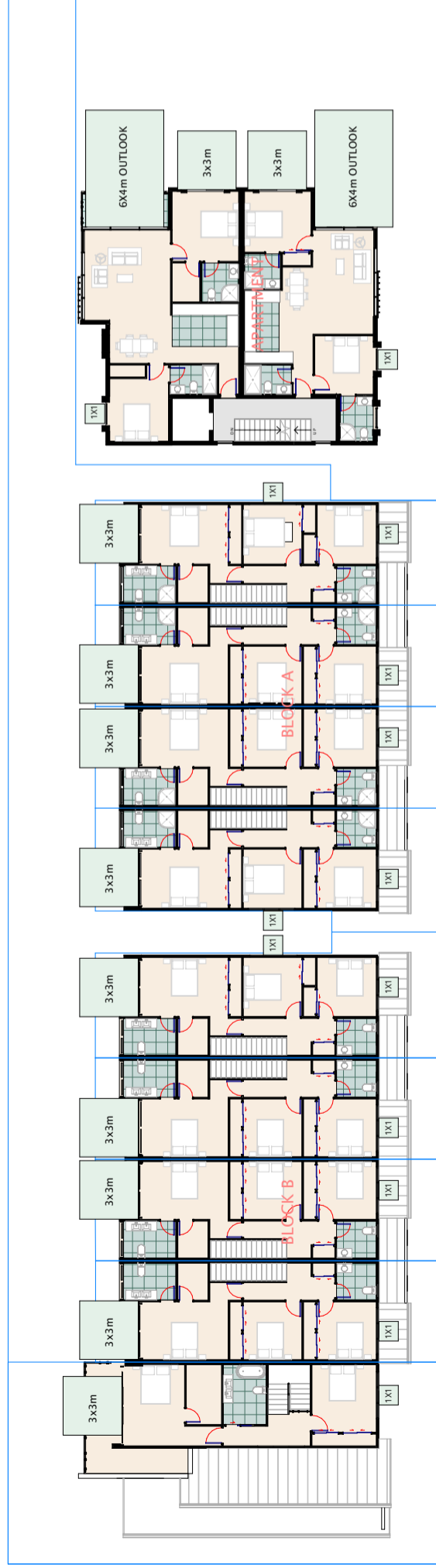
4 4. A-L3 FLOOR PLAN OUTLOOK
A07 SCALE: 1 : 150



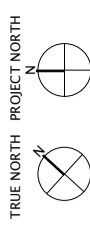
2 2. L1 FLOOR PLAN OUTLOOK
A07 SCALE: 1 : 150



5 5. A-L4 FLOOR PLAN OUTLOOK
A07 SCALE: 1 : 150



3 3. L2 FLOOR PLAN OUTLOOK
A07 SCALE: 1 : 150



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10 Tawera Road, Greenlane,
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SHEET TITLE
OUTLOOK SPACE PLAN

DESIGN DRAWN
WS LL

ISSUE DATE
06/07/2021

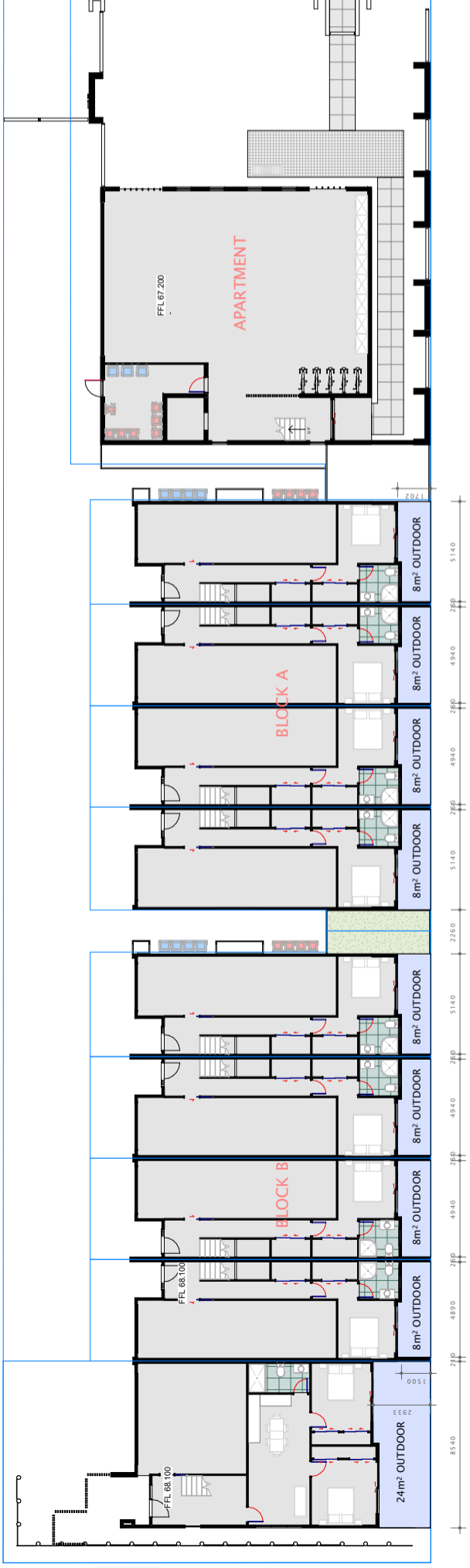
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SHEET NO.
A10

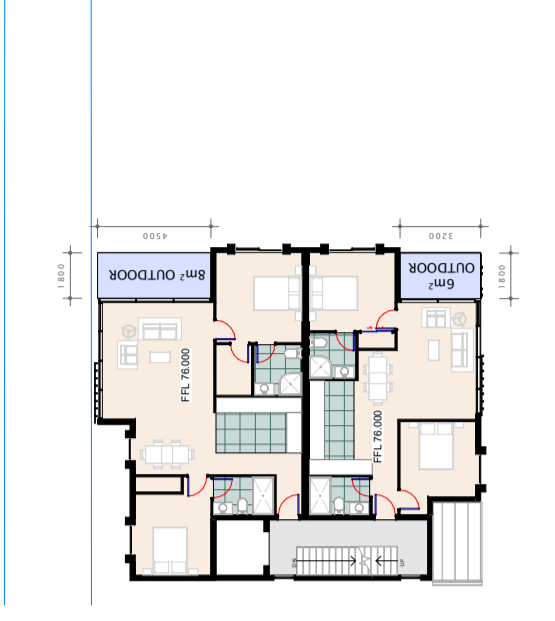
REVISION
B

GENERAL NOTES:

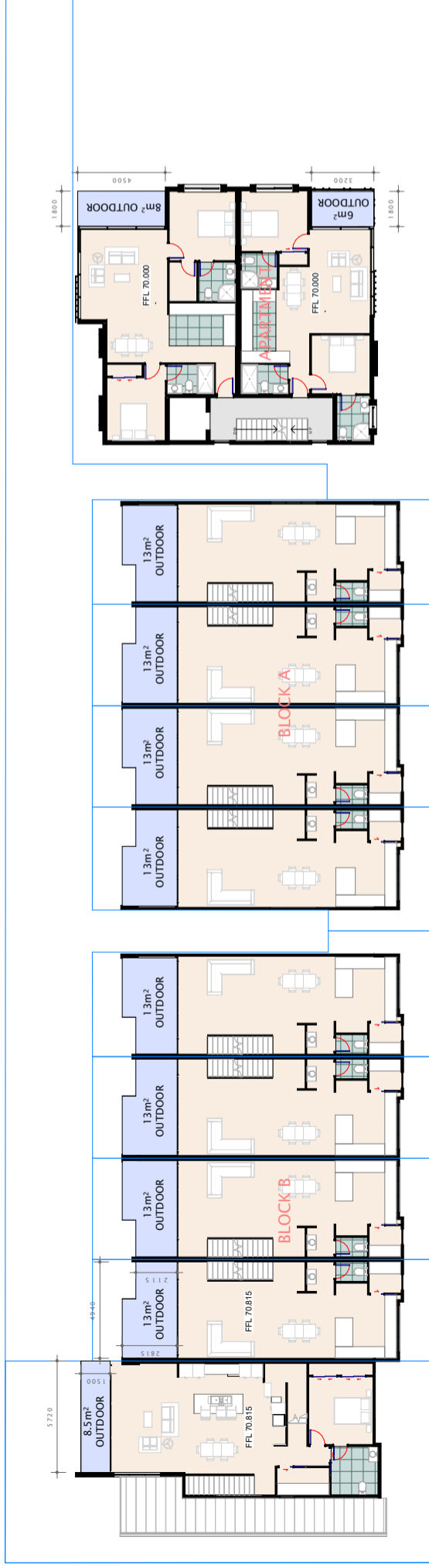
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9. REFER TO SPECIFICATION FOR SCHEDULE OF FINISHES & MATERIAL.
10. TANK ENTIRE BATHROOM FLOORS & 150mm UP WALLS UNDER FLOOR FINISH.
11. CHECK ON SITE ALL WINDOW OPENINGS FOR CORRECT POSITIONING FOR INSTALLING SAFETY GLAZING IN WET AREA. REFER NZS 4223 PART 3 FIGURE 3.04, AND CLAUSE 303.7.
12. WHEN ERROR OCCURS, MANUFACTURER'S DETAILS TAKE PRECEDENT OVER DETAILS, DETAILS TAKE PRECEDENT OVER PLANS, PLANS TAKE PRECEDENT OVER KEYNOTES.



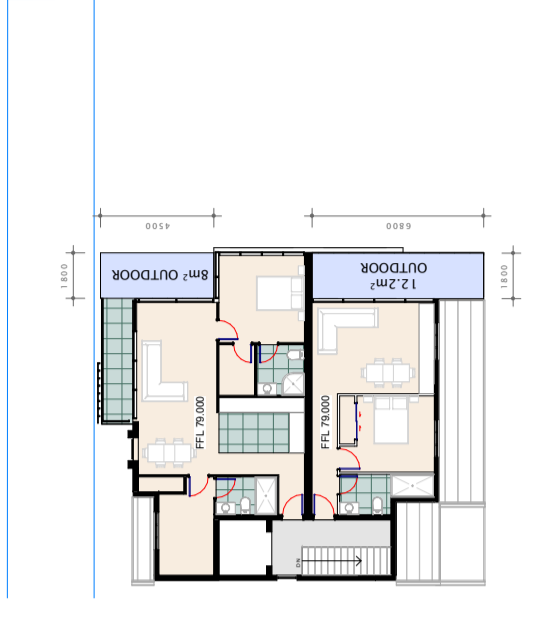
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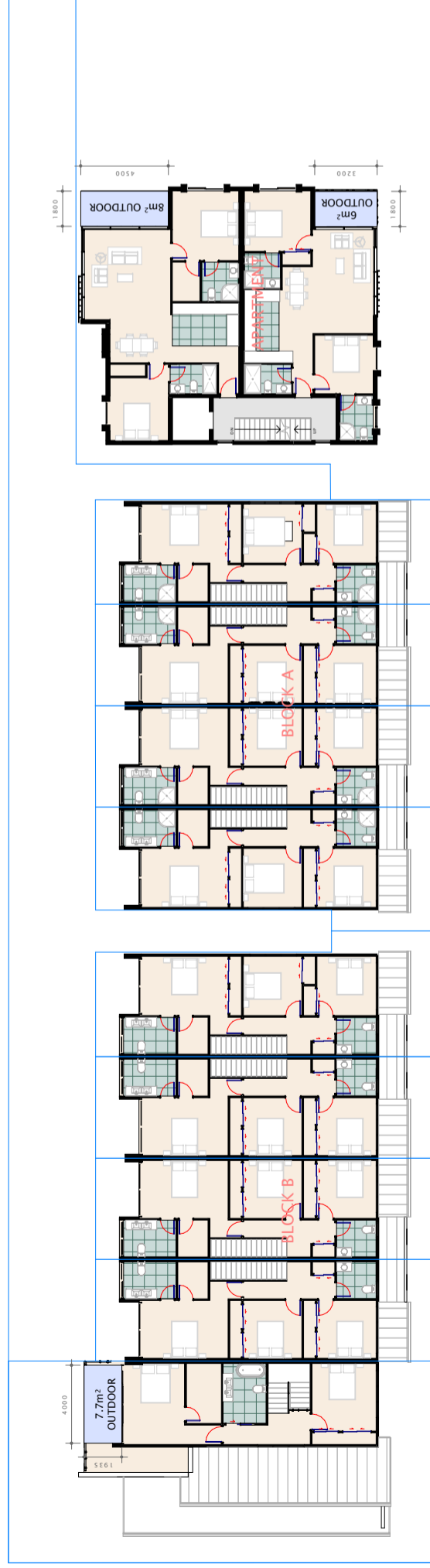
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SCALE: 1 : 150



2. L1 FLOOR PLAN OUTDOOR
SCALE: 1 : 150



5. A-L4 FLOOR PLAN OUTDOOR
SCALE: 1 : 150



3. L2 FLOOR PLAN OUTDOOR
SCALE: 1 : 150



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SHEET TITLE
**OUTDOOR LIVING SPACE
PLAN**

DESIGN DRAWN ISSUE DATE
WS LL 06/07/2021

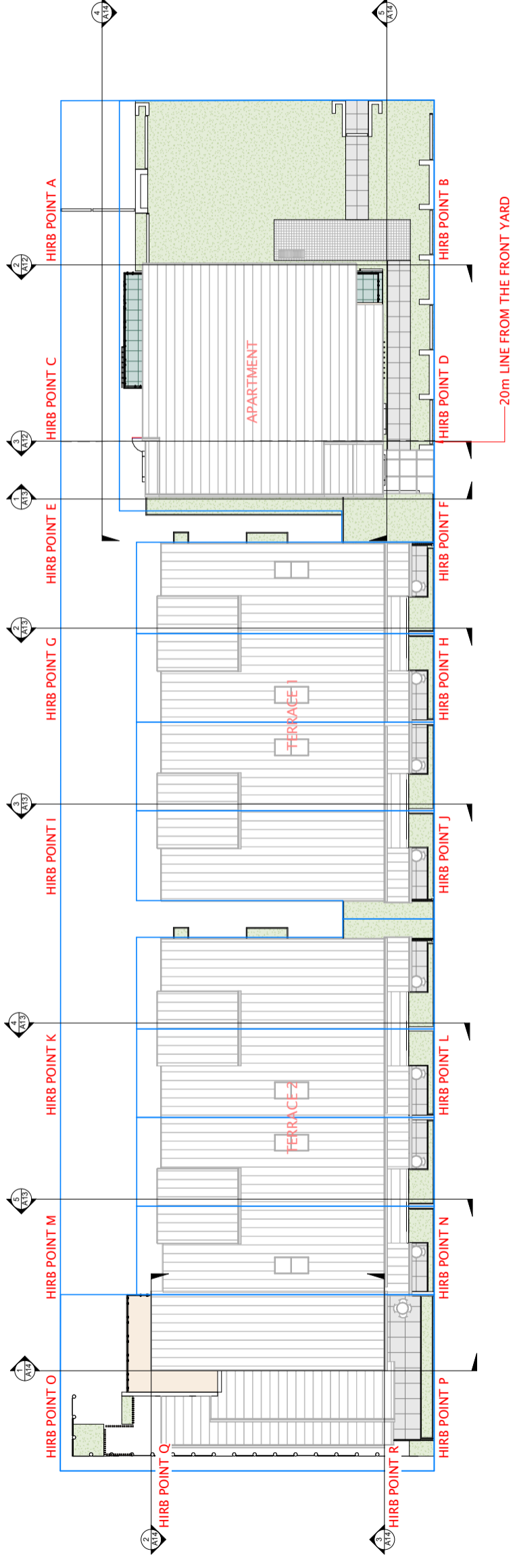
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SHEET NO. REVISION

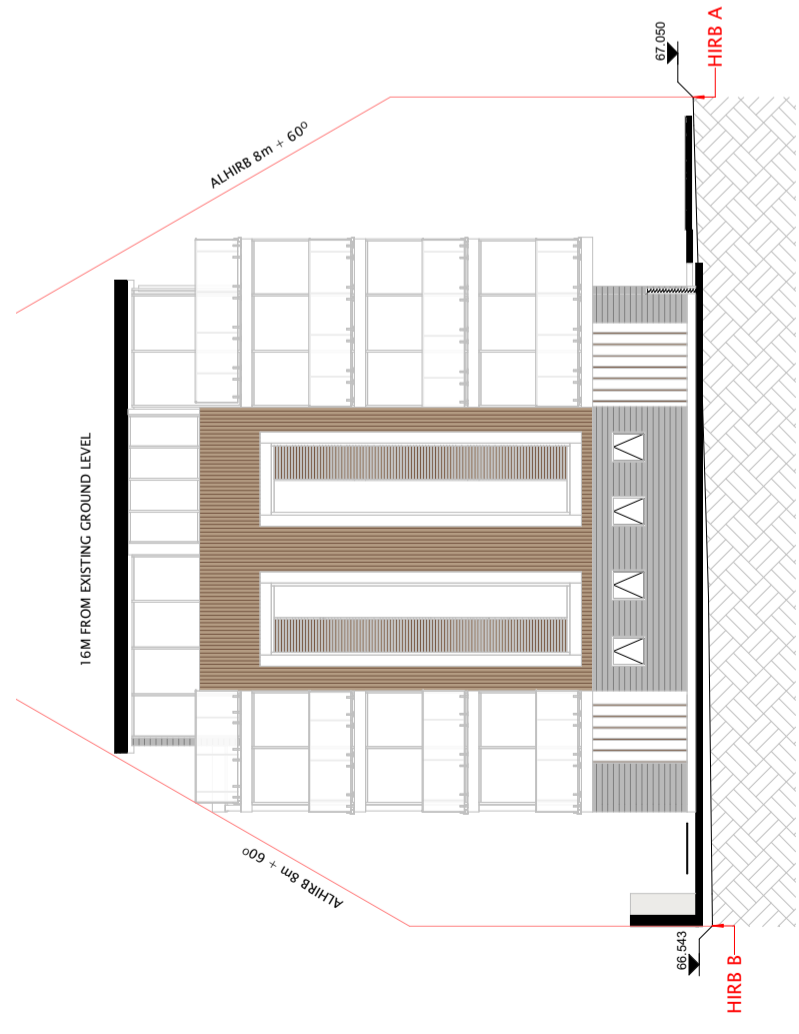
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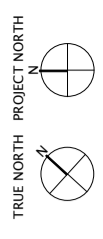
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2 CRITICAL POINT SECTION 1
SCALE: 1 : 100



3 CRITICAL POINT SECTION 2 20M
SCALE: 1 : 100



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MRS. Sixiao Liu

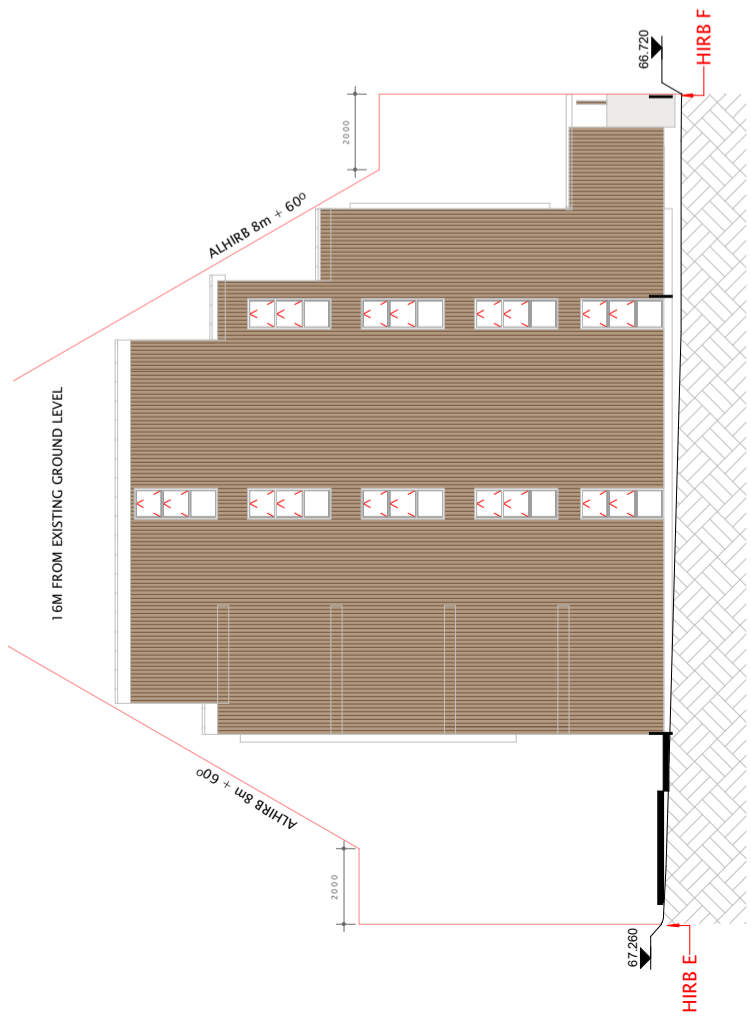
PROJECT
10 Tawera Road, Greenlane,
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SHEET TITLE
CRITICAL POINTS SECTIONS 1

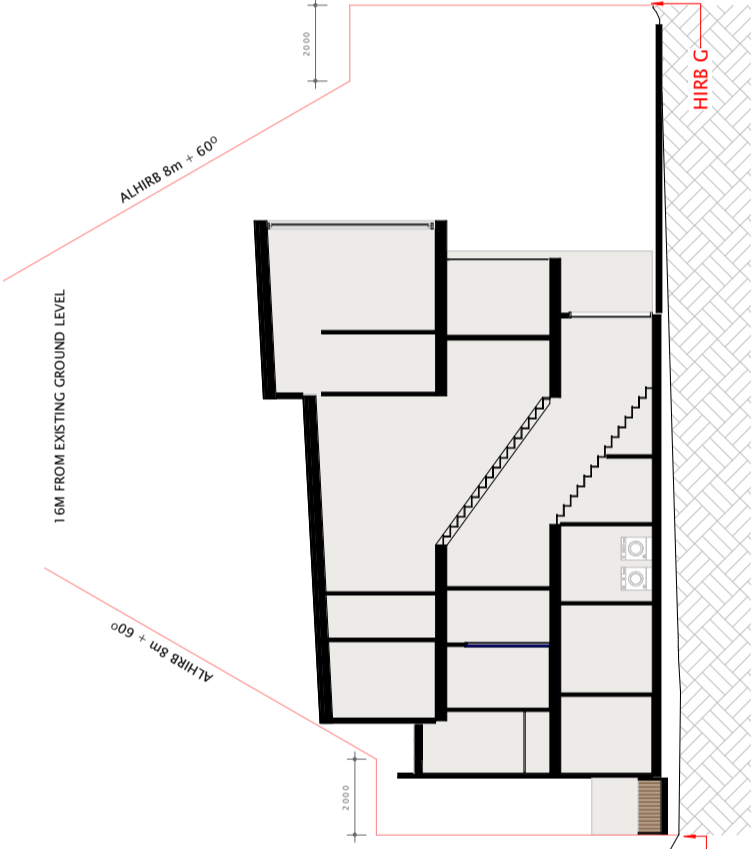
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SHEET NO.
REVISION

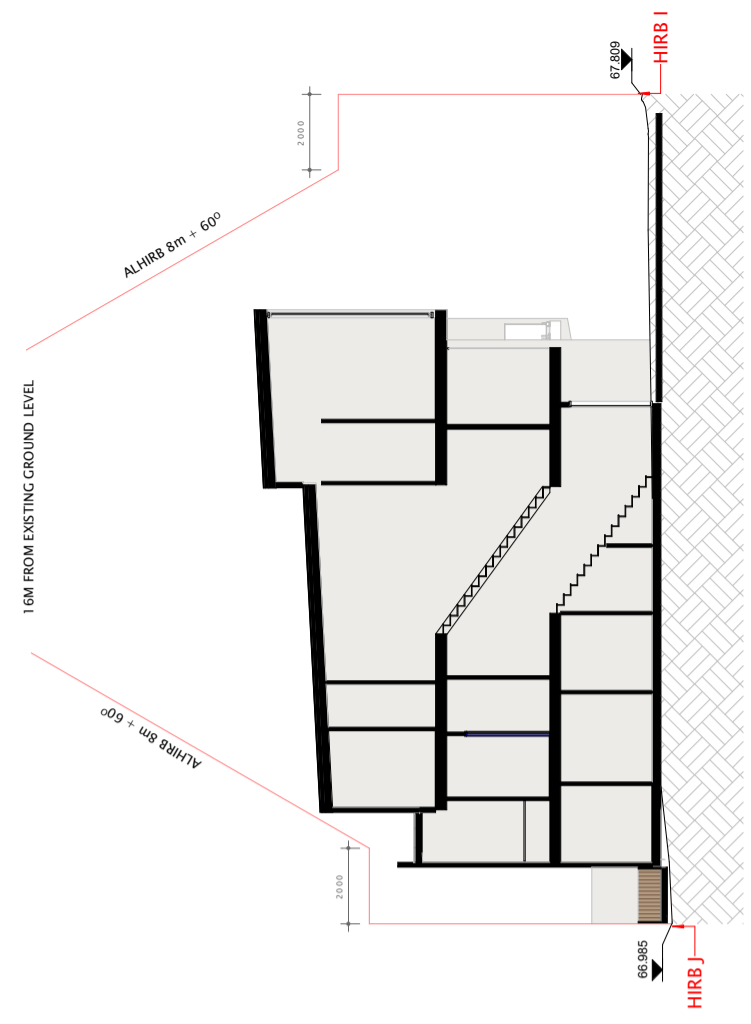
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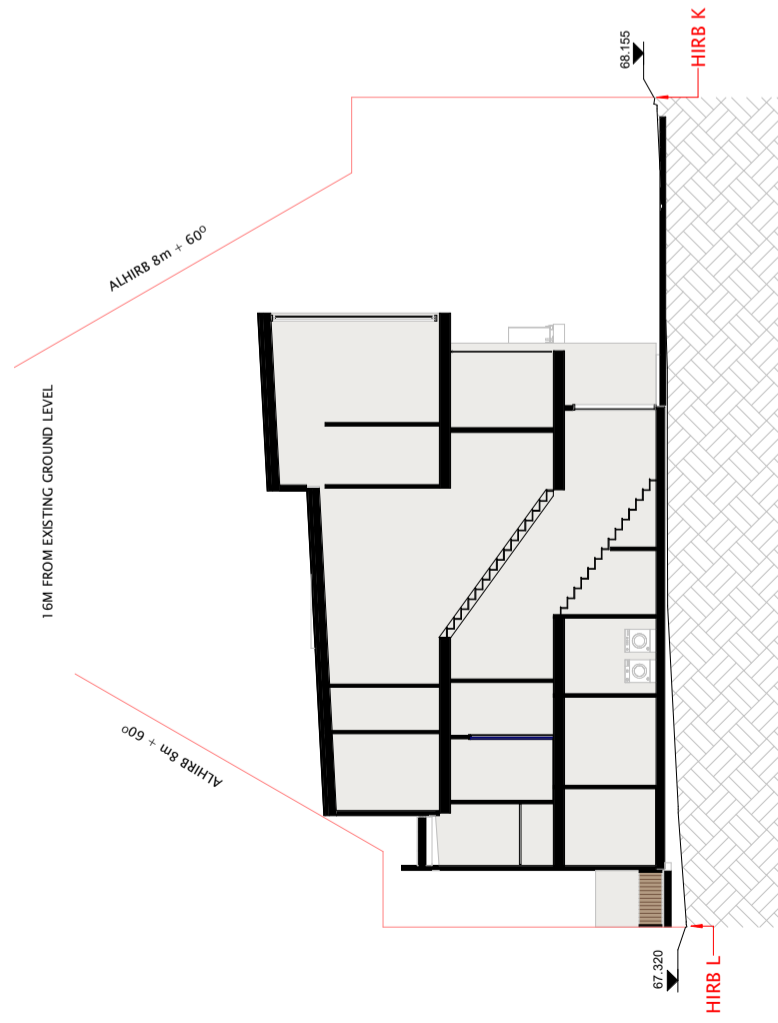
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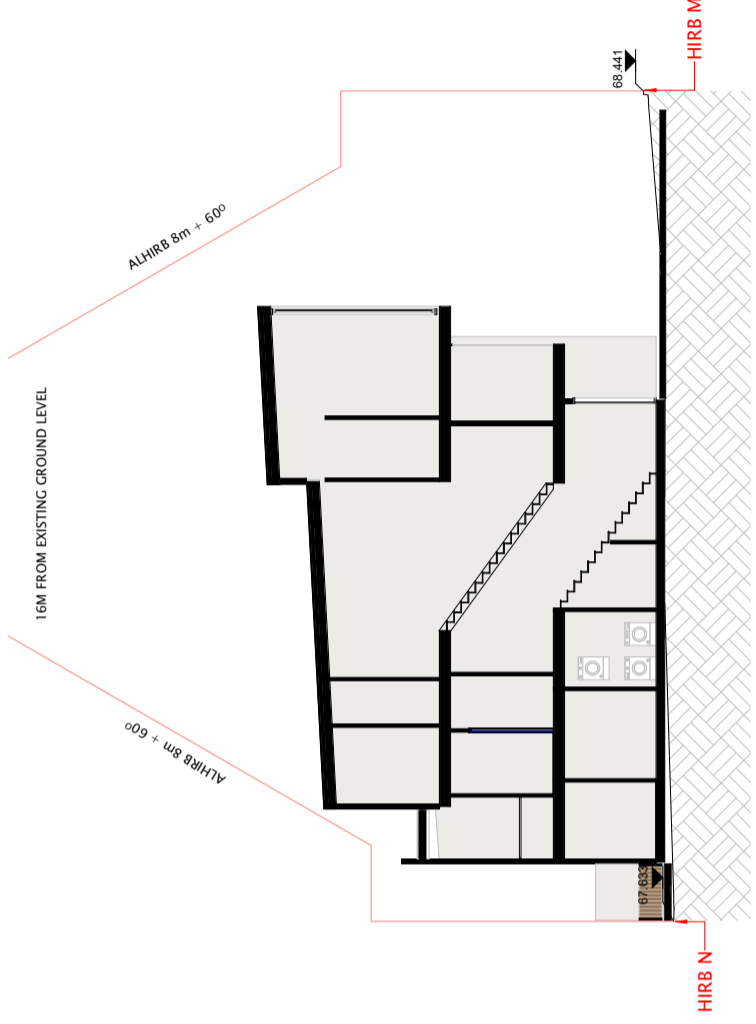
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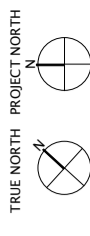
3 CRITICAL POINT SECTION 5
A12 SCALE: 1 : 100



4 CRITICAL POINT SECTION 6
A12 SCALE: 1 : 100



5 CRITICAL POINT SECTION 7
A12 SCALE: 1 : 100



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PROJECT
10 Tawera Road, Greenlane,
Auckland 1051

SHEET TITLE
CRITICAL POINTS SECTION 2

DESIGN
WS LL

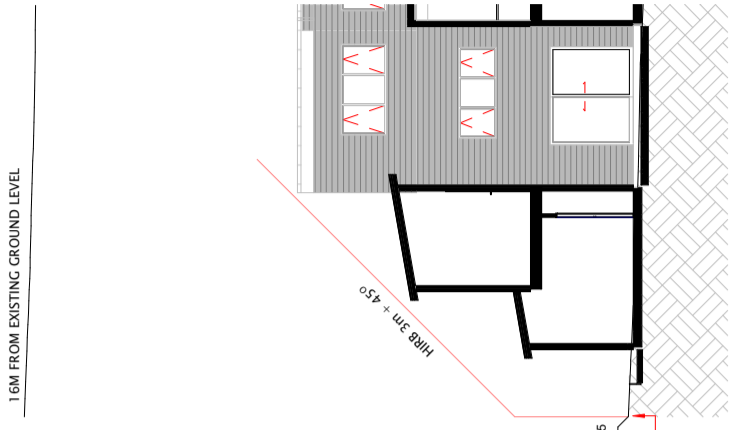
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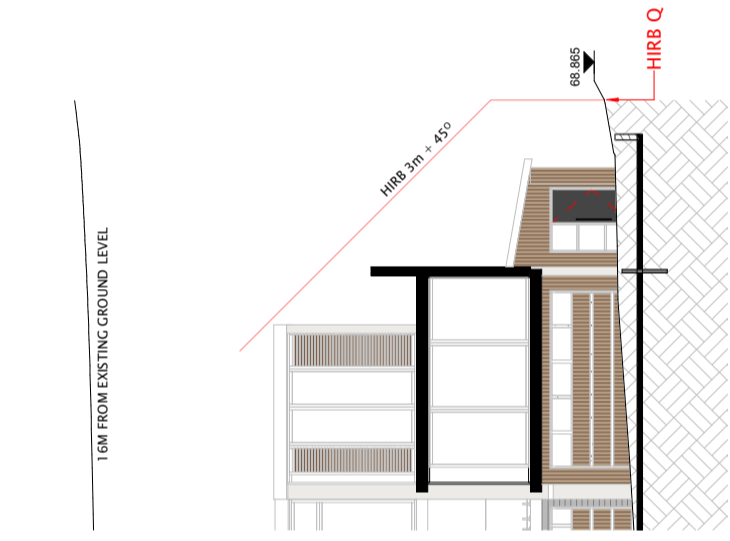
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GENERAL NOTES:

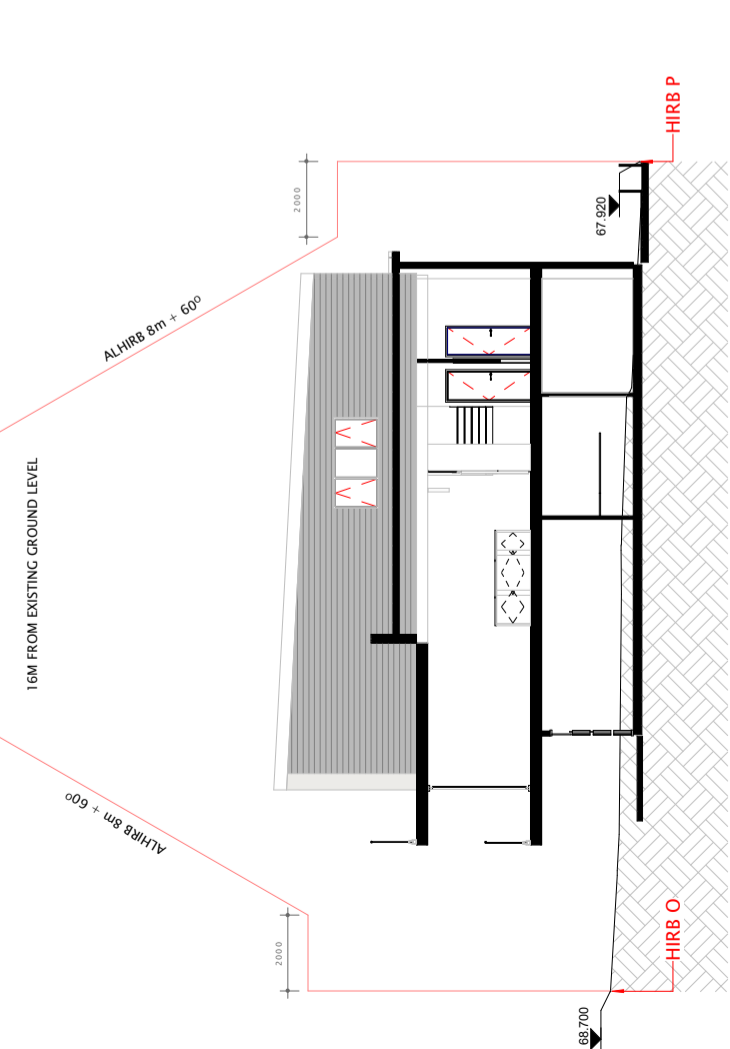
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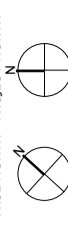
3 CRITICAL POINT SECTION 10
A12 SCALE: 1 : 100



2 CRITICAL POING SECTION 9
A12 SCALE: 1 : 100



1 CRITICLA POING SECTION 8
A12 SCALE: 1 : 100



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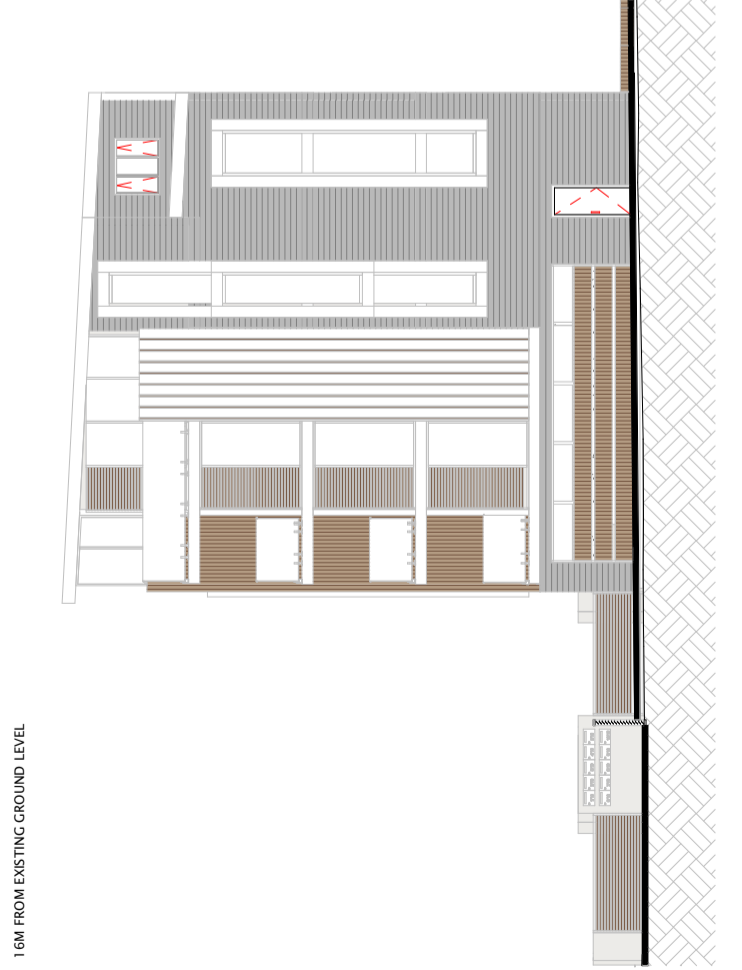
SHEET TITLE
CRITICAL POINT SECTION 3

DESIGN	DRAWN	ISSUE DATE
WS	LL	06/07/2021
SCALE	1 : 100	@A1

SHEET NO. **A14 B**



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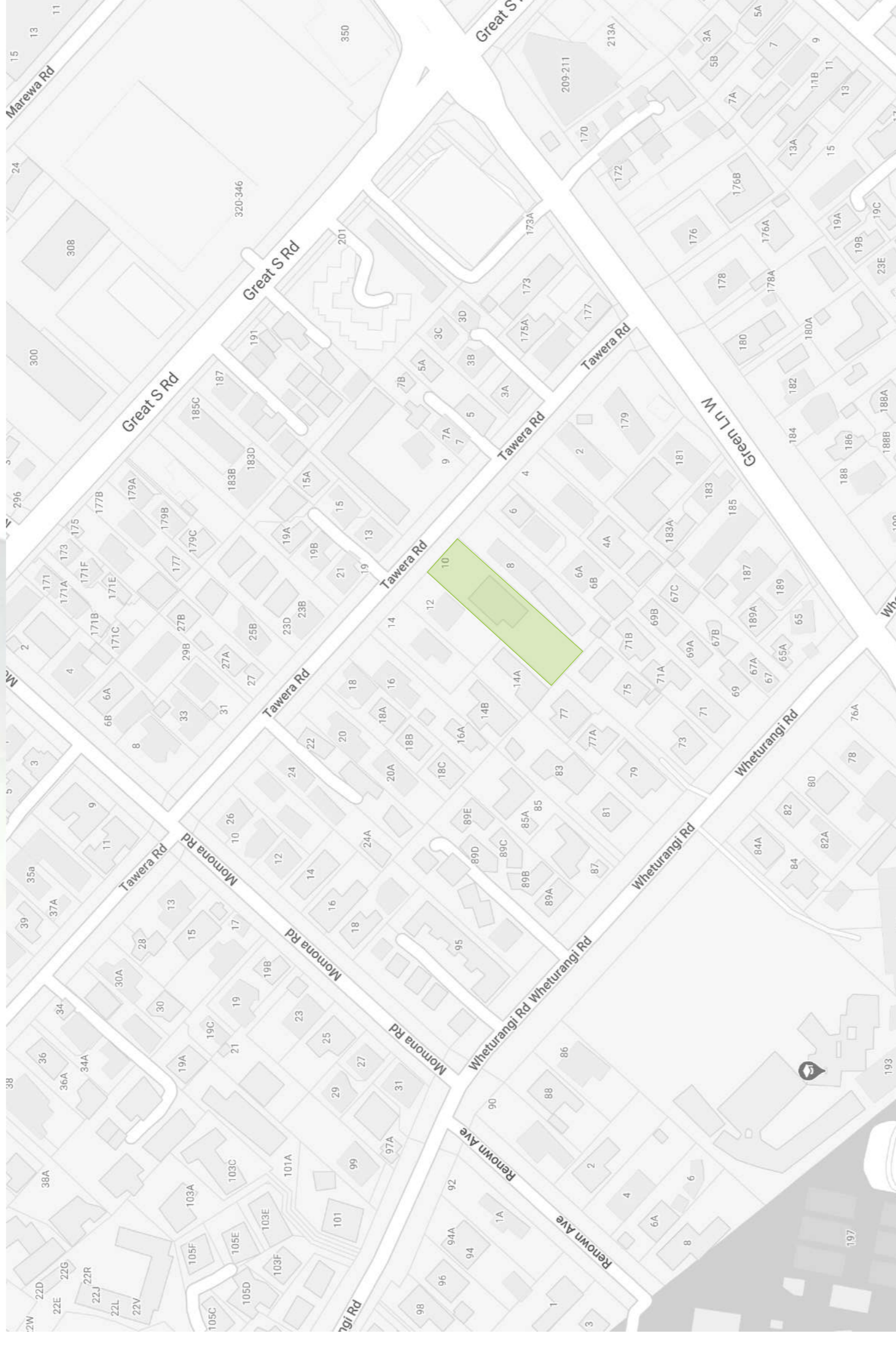
greenwoodassociates | Landscape Architecture

Landscape Plan Set for

Sixiao Liu

10 Tawera Road

Greenlane, Auckland



Drawing Number:	Drawing Description:	Drawing Issue Date:	S92 Rev A Date:	S92 Rev B Date:
210205/1	- Landscape Concept Plan	22/04/21		
210205/2	- Planting Plan	22/04/21	13/07/21	
210205/3	- Hardscape Plan	22/04/21	13/07/21	
210205/4	- Fencing Plan	22/04/21	13/07/21	26/08/21
210205/5	- Planting Palette	22/04/21		
210205/6	- Planting Detail	22/04/21		
210205/7	- Fencing Detail	22/04/21		
210205/8	- Fencing Detail	22/04/21		
210205/9	- Southern Fencing Elevation	22/04/21		

<https://greenwoodassociates.co.nz>



Holland set pavers to break up the JOAL surfacing and to complement the holland set pavers at the front entrance.

Climbing plants to be located along north western boundary line

Standard brushed concrete with 4KG black oxide m3 to delineate the pedestrian footpath

Exposed aggregate concrete with 4KG black oxide m3 surfacing

Holland set pavers to formalise the front entrance to the development.

Pedestrian entrance and letterbox bank for terrace units.

Retain large notable tree at the front of the site.

Retain existing Tecoma hedge

Pedestrian entrance and letterbox bank for apartment units.

Pseudopanax trees to add height to landscaping within the rear yards

Rear ground floor patios

Rubbish storage area with for units within terrace 2 with a 1.2m screen.

Rubbish storage area with for units within terrace 1 with a 1.2m screen.

Large shotblasted concrete pavers to define the pedestrian entrance path.

Groups of hedging and specimen trees to help visually screen views towards 8 Tawera Road.



1.2m visually permeable aluminium fin fencing



Concrete surface variation within JOAL



Holland set pavers



Shotblasted pavers pavers



Climbing plants located along the north western boundary

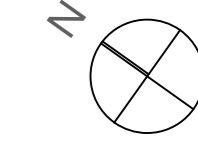


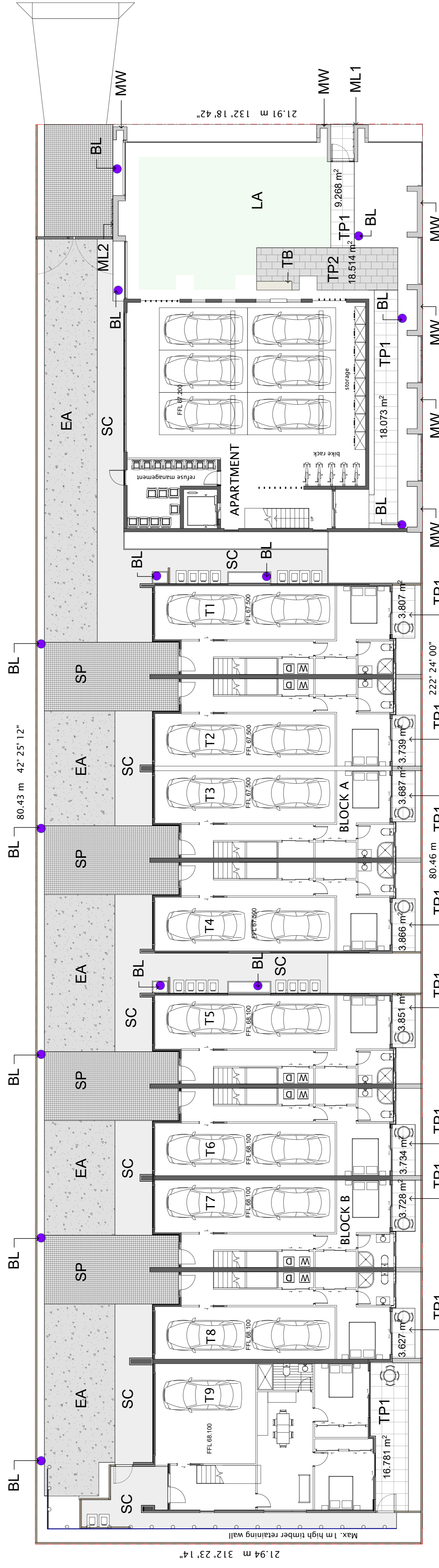
Planting layers to add a sense of depth and texture



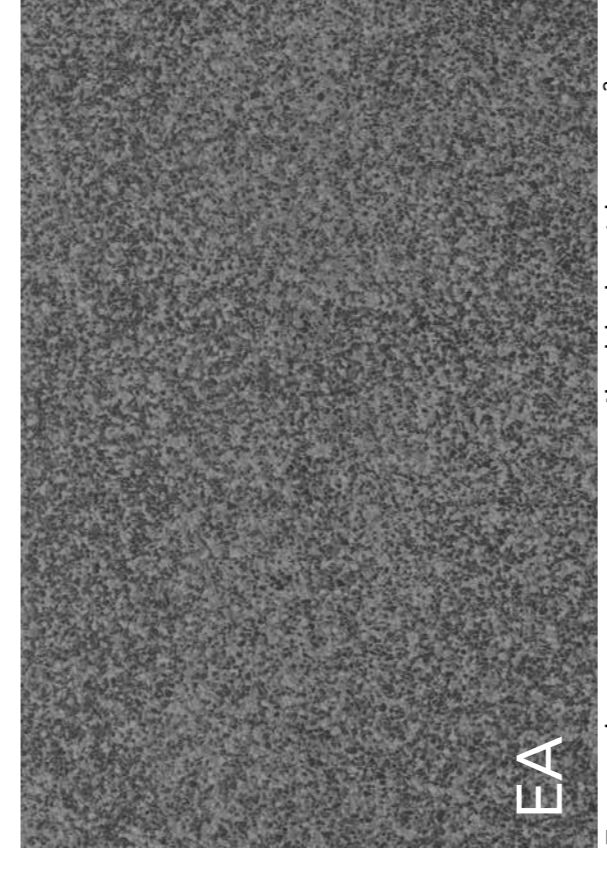
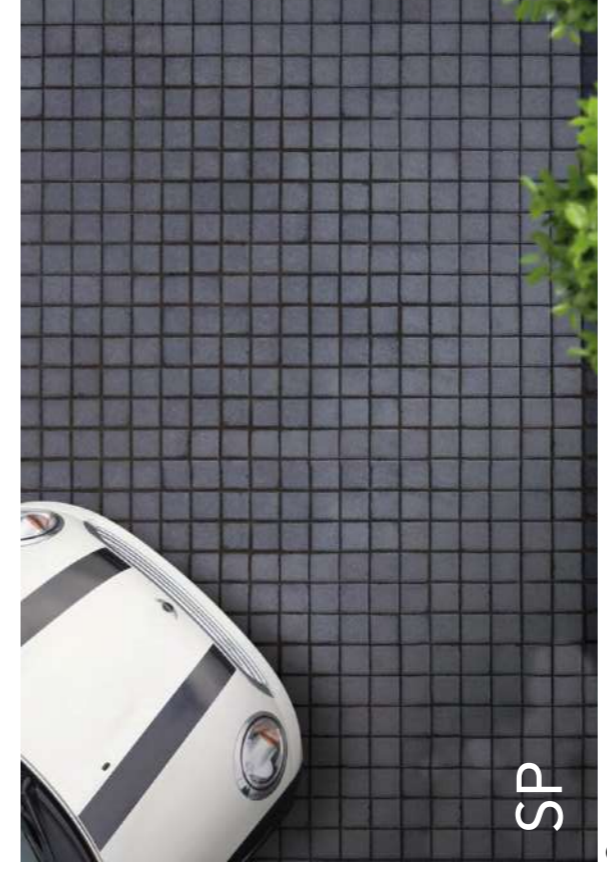
Masonry letterbox banks

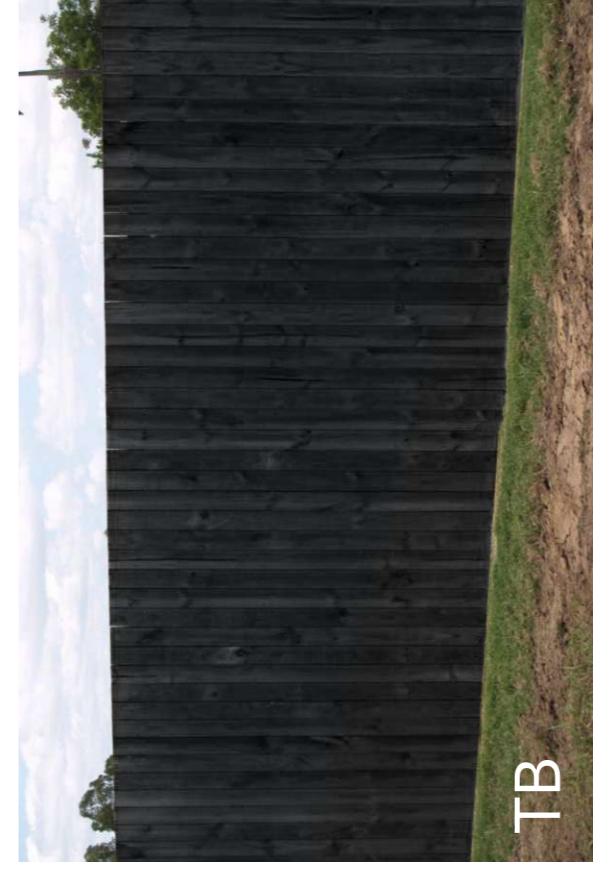
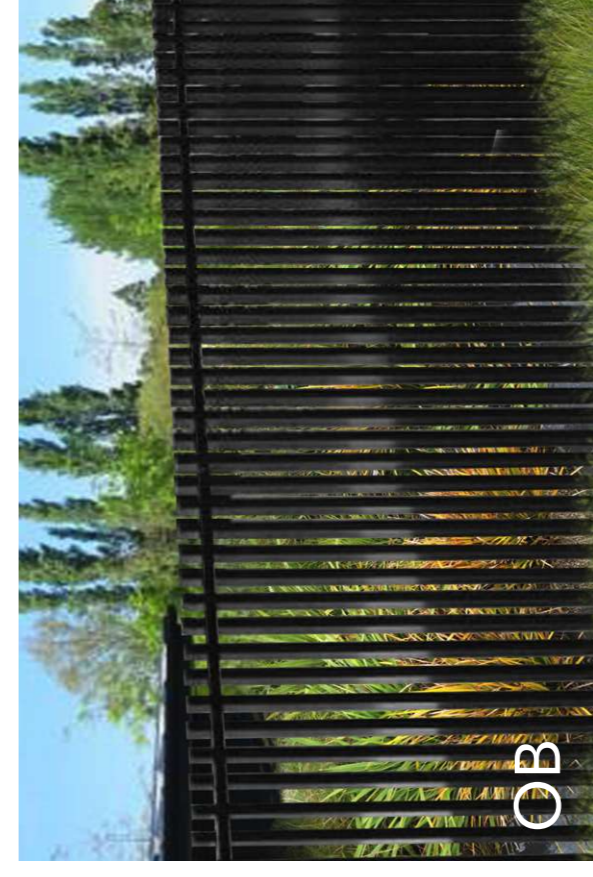
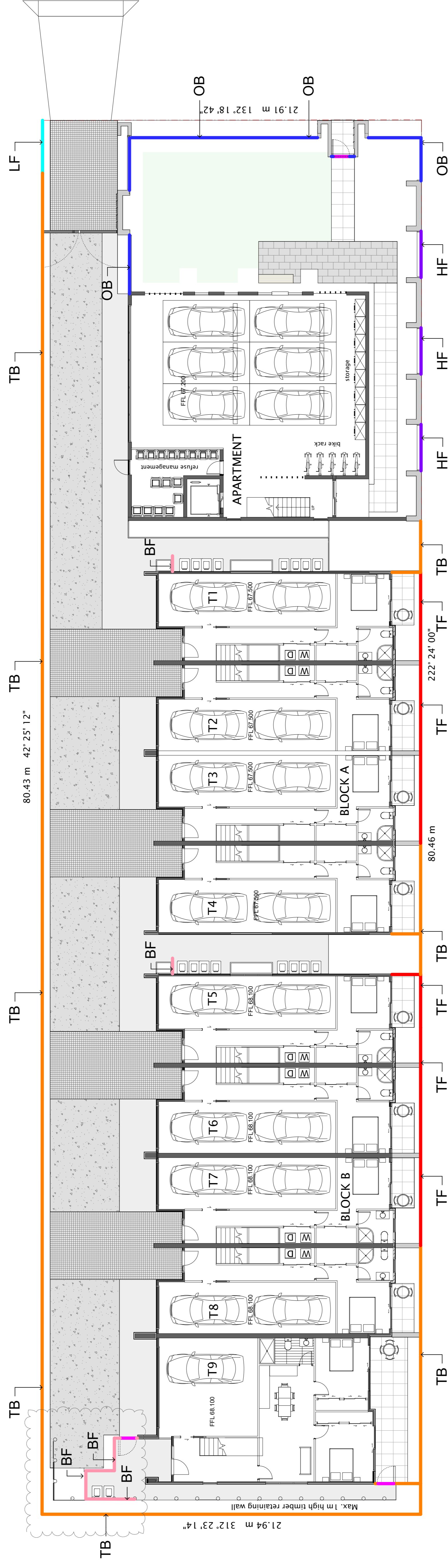
- Specimen trees
- Hedging
- Large fill shrub/grass planting
- Small shrub/grass planting
- Shade mix planting
- Standard black oxide concrete
- Exposed aggregate with black oxide
- Shotblasted pavers
- Set pavers
- Fencing < 1.2m
- Fencing > 1.2m
- Gates



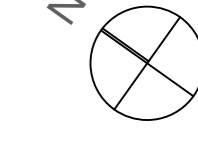


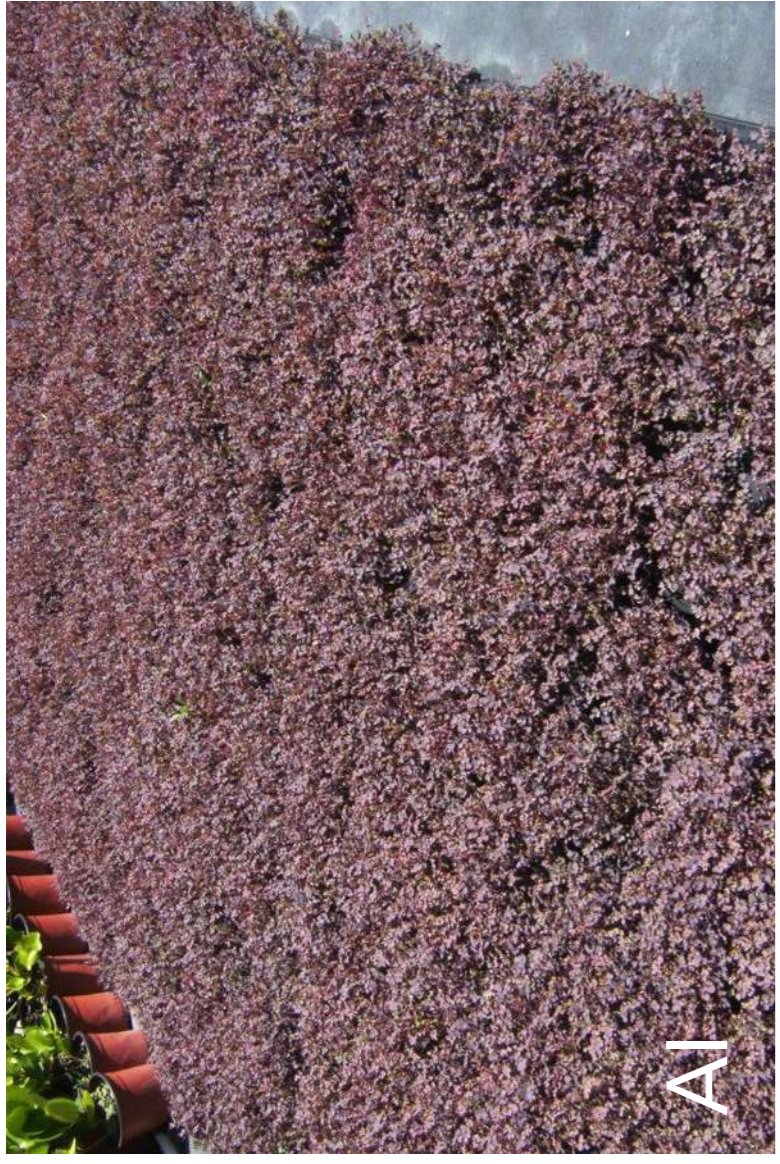
Code	Name	Specification
SC	Standard concrete	Standard aggregate, broom finish, 4kg black oxide per m ³
EA	Exposed aggregate concrete	Standard aggregate, 4kg black oxide per m ³ , exposed
SP	Sett pavers	200x100mm Firth Holland sett pavers, graphite colour
LA	Lawn	PGG Wrighson Duraturf Kerbside, sow 40g/m ² (3.5kg/100m ²)
TP1	Terrazzo pavers	600 x 600mm shotblasted Venetio pastelli pavers, Bragatto colour, Horizon paving range
TP2	Terrazzo pavers	600 x 400mm shotblasted Venetio pastelli pavers, Toscana
MW	Masonry feature wall	Pastelli Venetio colour, Horizon paving range
ML1	Masonry letterbox bank	Masonry wall structure located at the street frontage, Rendered finish, colour to compliment building facade.
ML2	Masonry letterbox bank	Masonry structure with 8 x Masonry insert letterboxes
TB	Bench seat	Masonry structure with 9 x Masonry insert letterboxes
RW	Retaining wall	Timber bench seat with mild steel powdercoated frame
BL	Bollard light	Refer to architectural and engineering specifications
		Inground bollard lighting, Product specification TBC





Code	Name	Specification
BF	Timber batten fence	1.2m high, 50X50mm H3.2 D4S vertical battens, 25mm spacing Dark grey stain finish
OB	Open aluminium batten fence	1.2m high, Boundaryline 'DuraPanel Axis' open aluminium fence, 50X25mm battens and posts, black powder coat finish
TB	Timber paling fence	1.8m high, 150mm H3.2 vertical palings, no spacing, black stain finish
LF	Timber paling fence	1.2m high, 150mm H3.2 vertical palings, no spacing, black stain finish
TF	Timber paling fence	1.6m high, 150mm H3.2 vertical palings, no spacing, black stain finish
HF	Horizontal slatted timber fence	1.5m high, Boundaryline 'ColourSlat Signature', 70mm selected timber slats, modular powder coated steel post system
GA	Gate	Gate to match fencing typology. Self-closing hinges, child proof latch, discourages climbing





AI

Acaena inermis 'Purpurea'



AL

Artemisia ludoviciana 'Silver Queen'



AR

Ajuga reptans



CC

Convolvulus cneorum



CP

Coprosma repens 'Poor Knights'



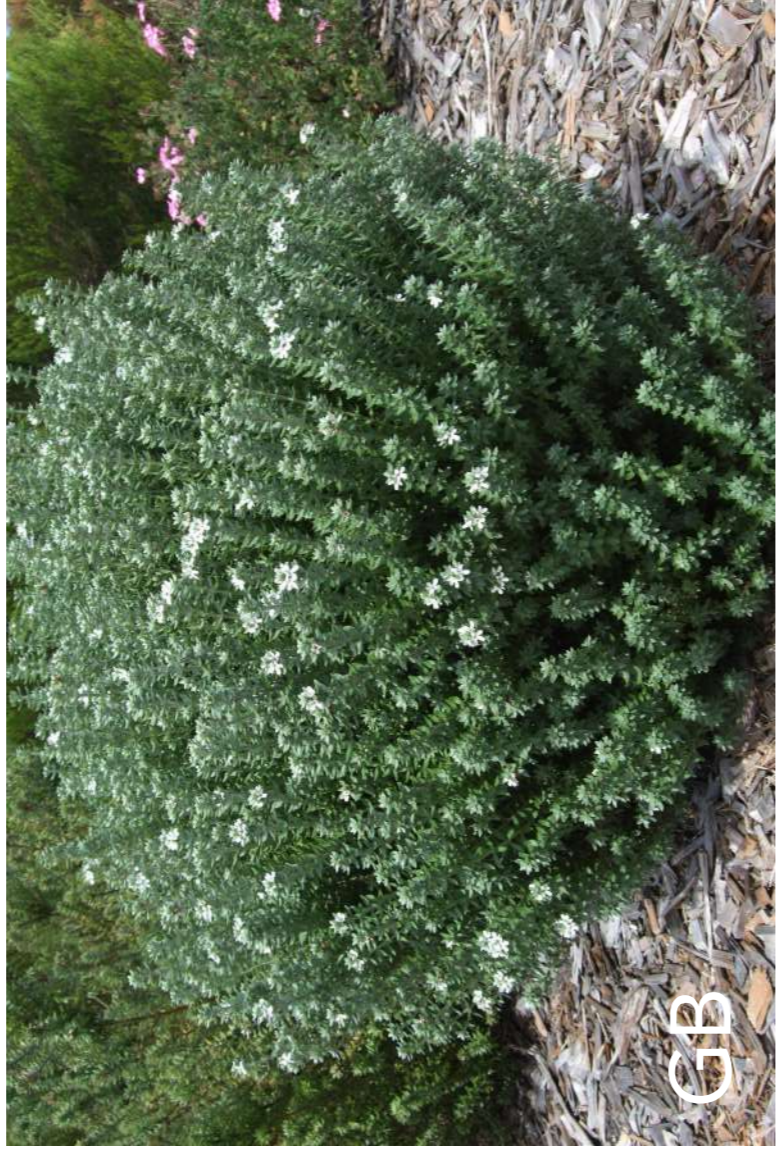
DG

Dietes grandiflora



HP

Hibiscus rosa-sinensis 'Psyche'



GB

Westringia 'Grey Box'



LM

Liriope muscari



SM

Asplenium bulbiferum



SM

Blechnum gibbum 'Silver Lady'



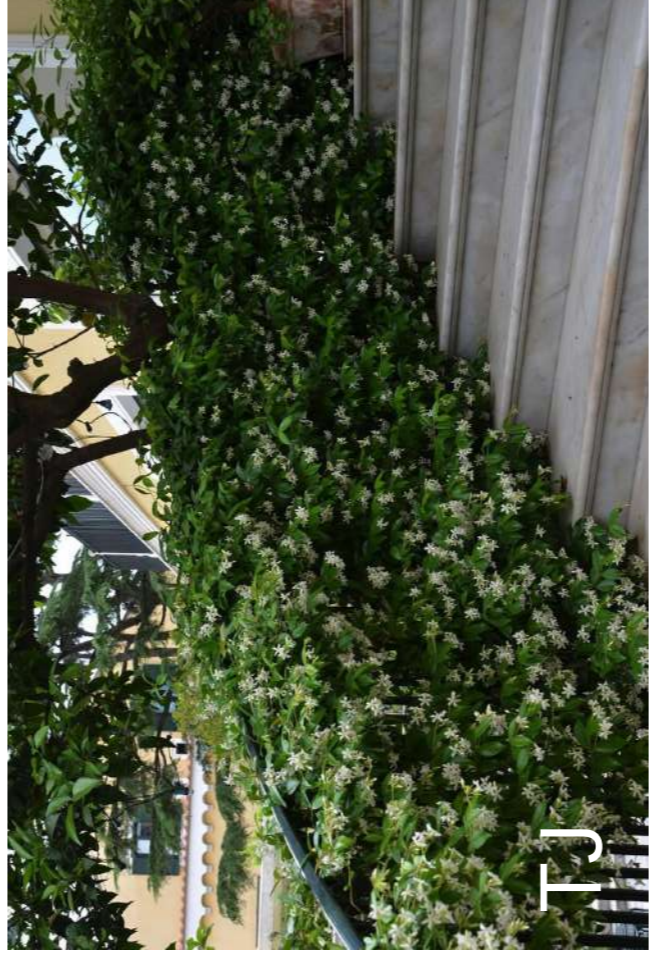
SM

Fuchsia procumbens



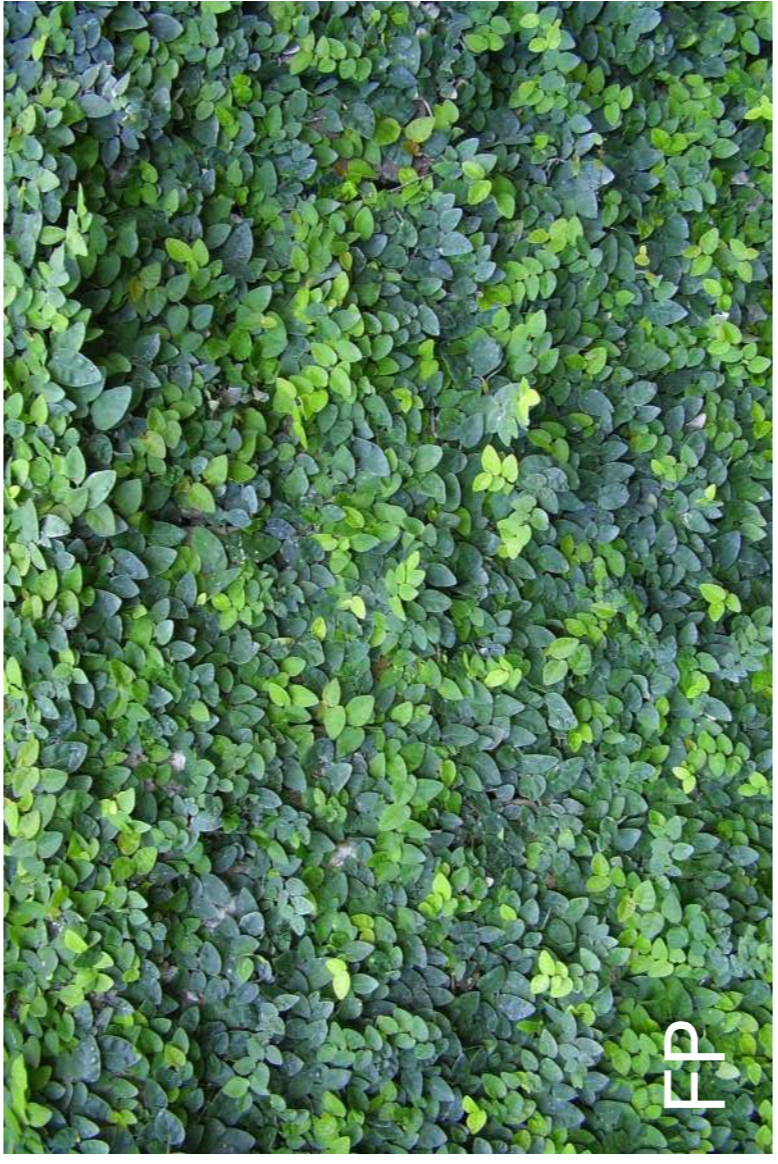
RV

Rhododendron sect. *vireya*



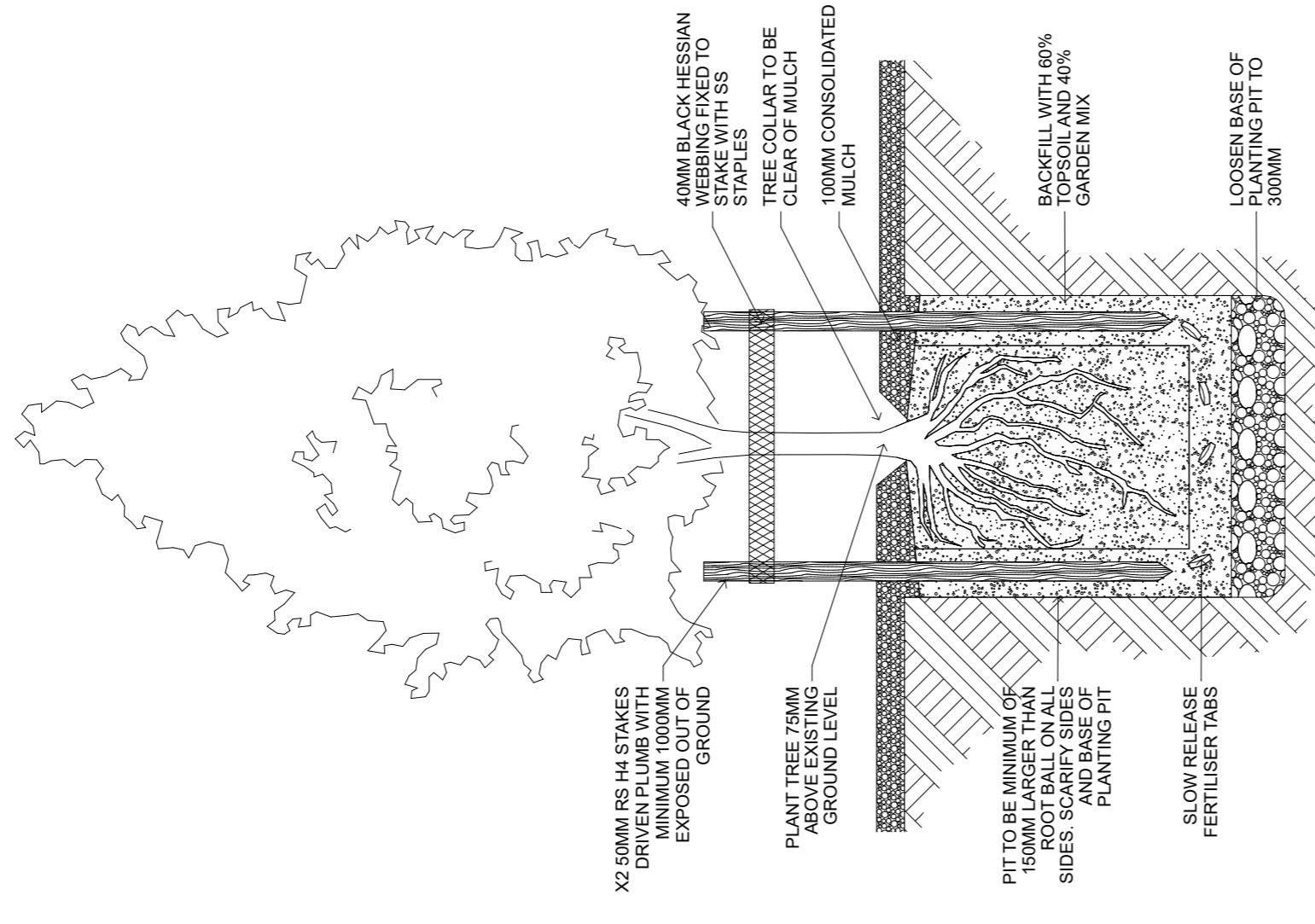
TJ

Trachelospermum jasminoides

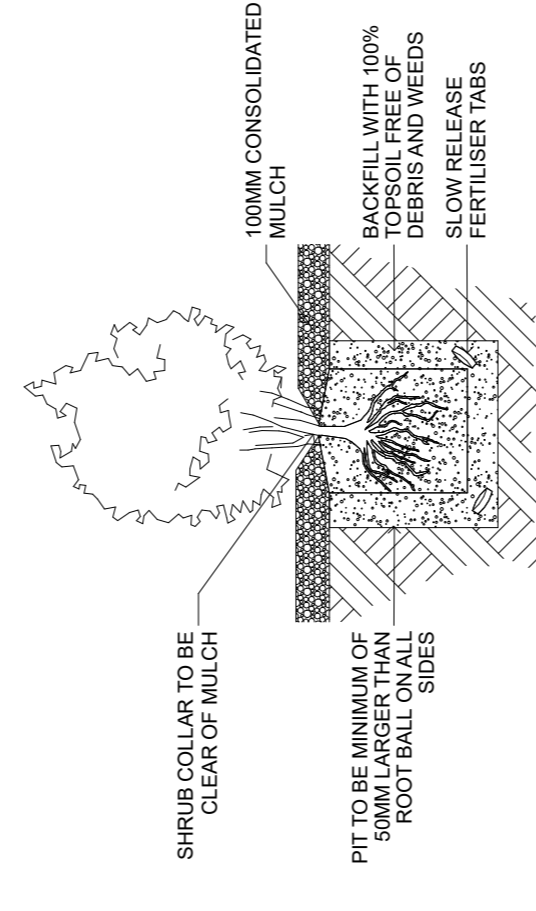
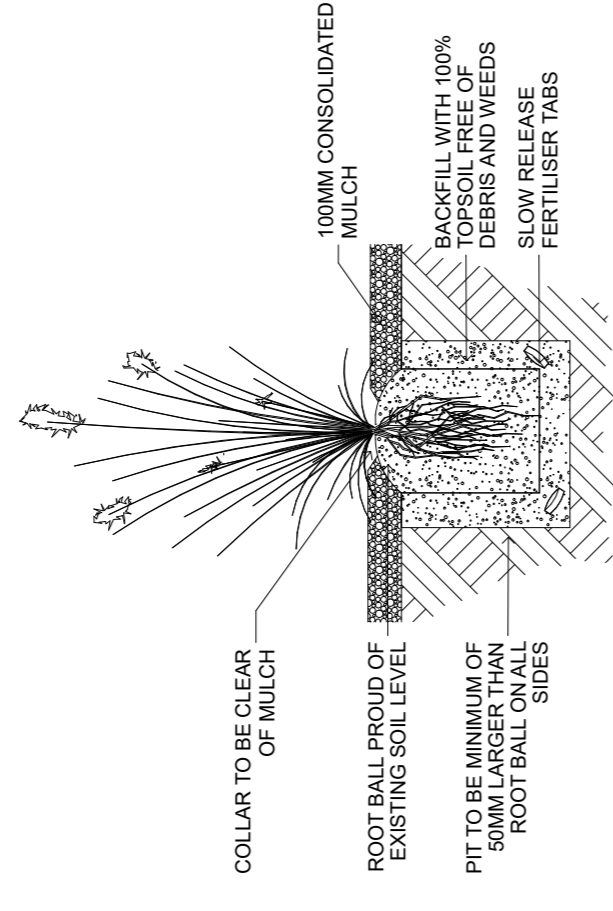


FP

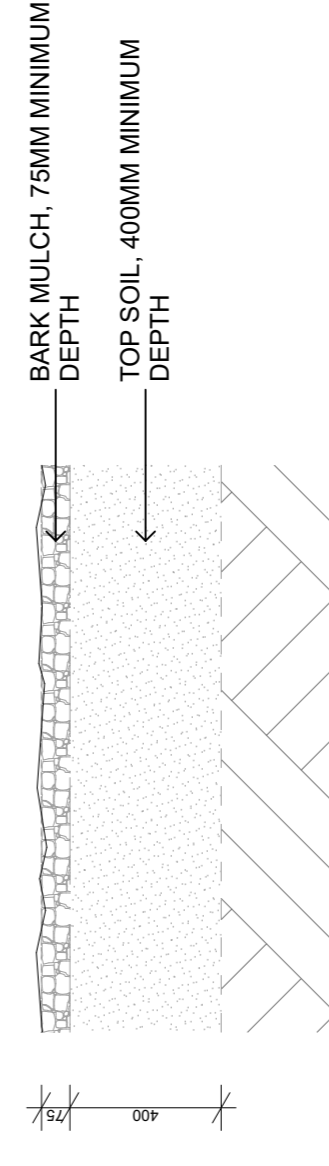
Ficus pumila



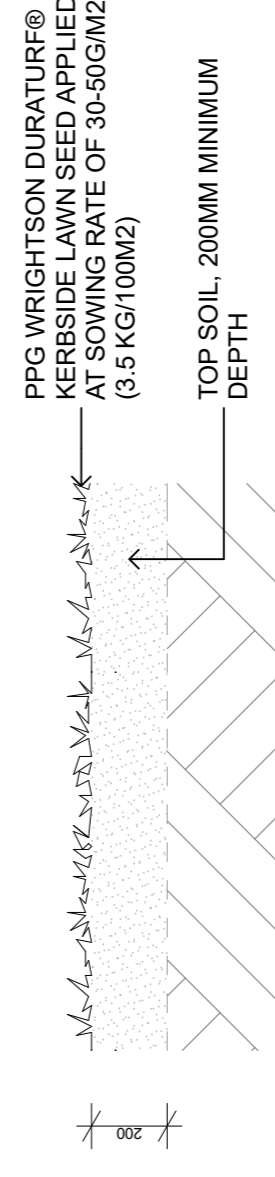
PD-01: TREE IN GARDEN NTS



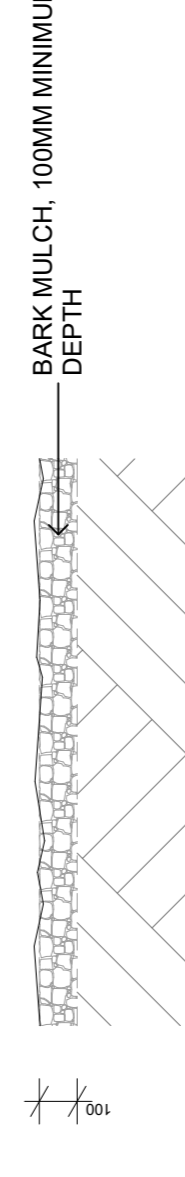
PD-02: SHRUB PLANTING NTS



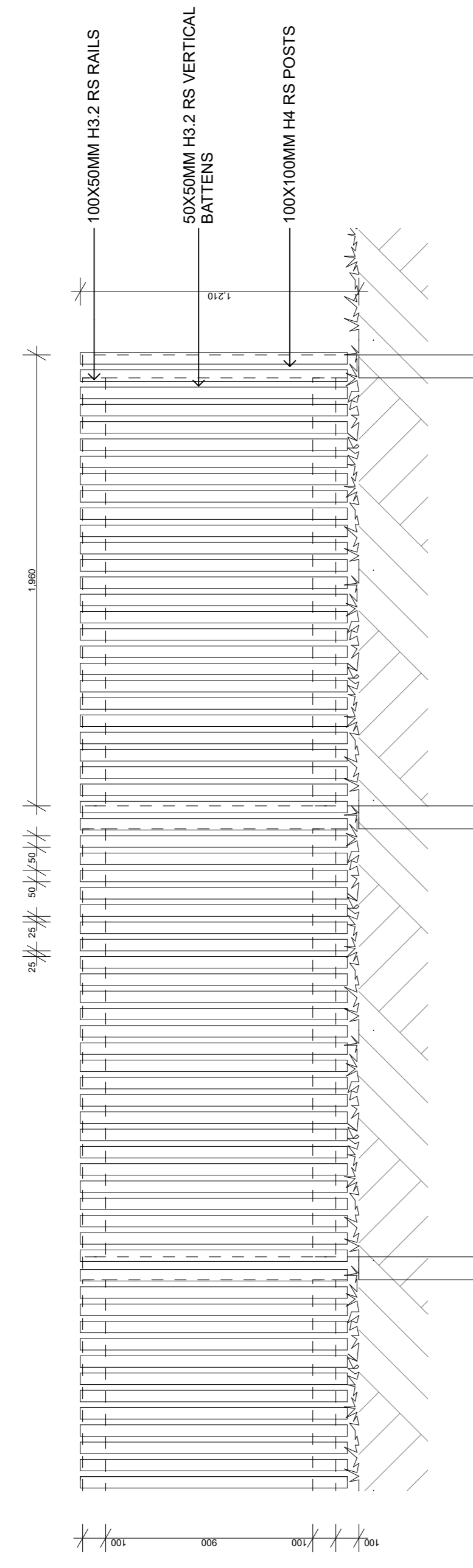
PD-03: GARDEN BEDS 1:20@A1 / 1:40@A3



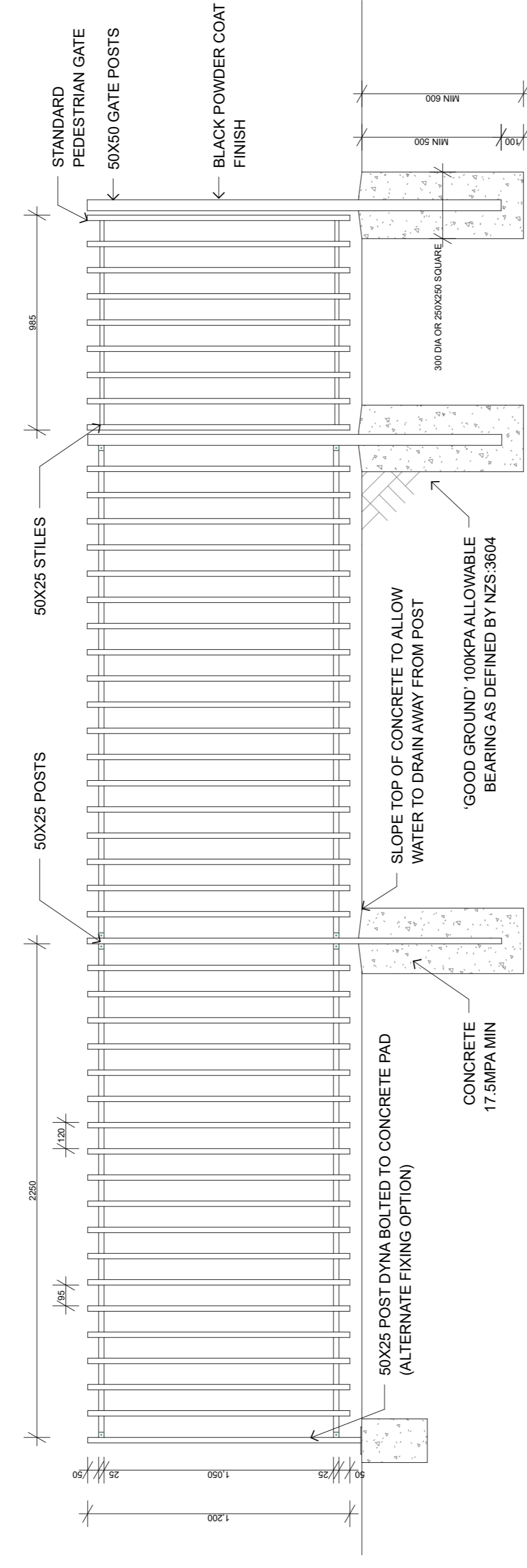
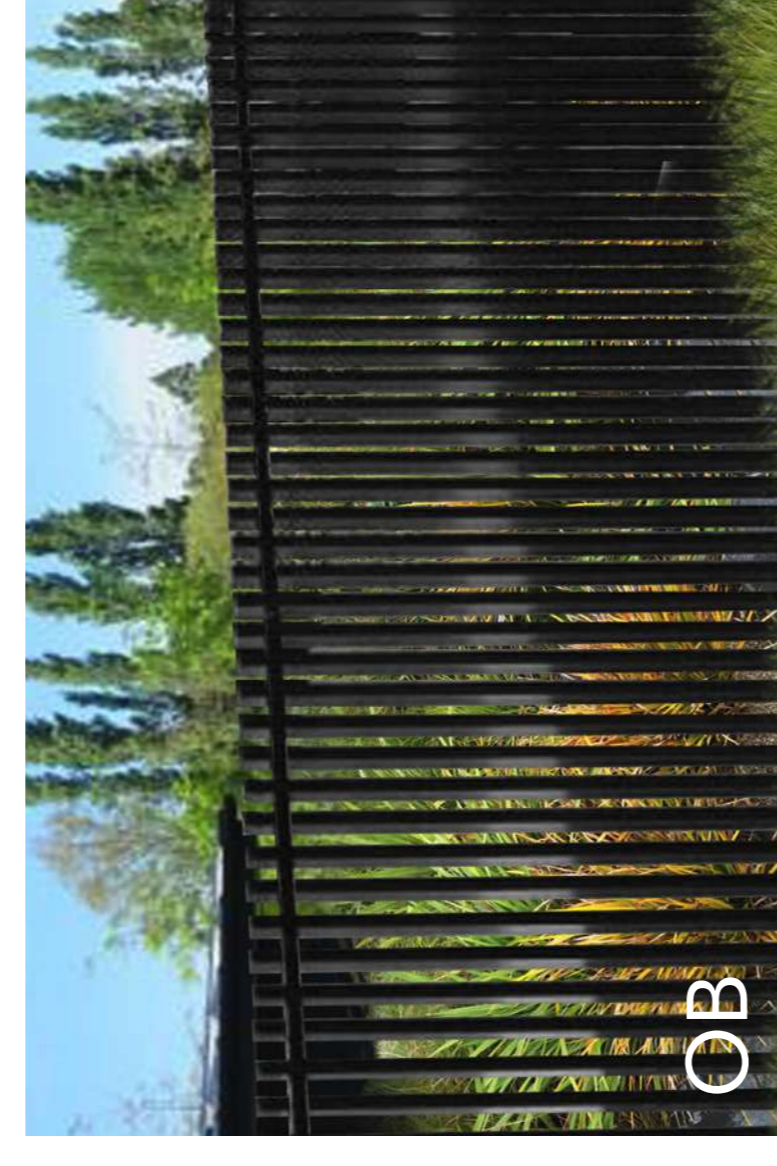
PD-04: LAWN 1:20@A1 / 1:40@A3



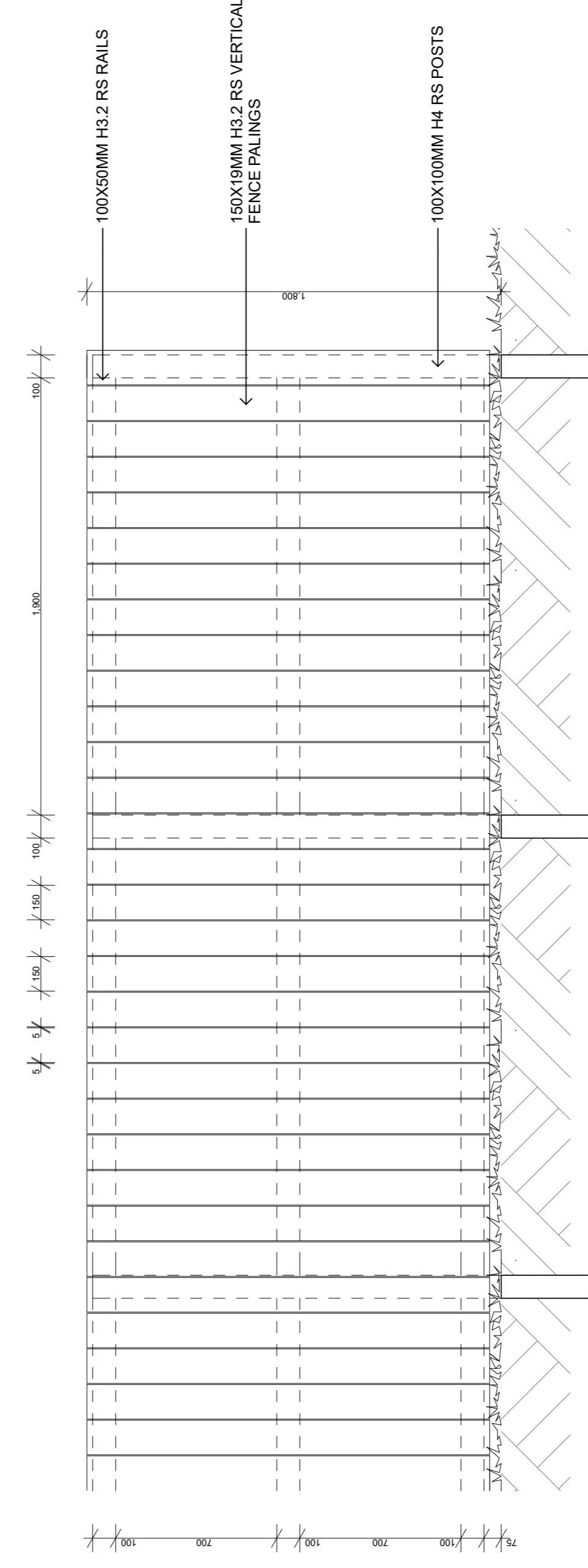
PD-05: BARK 1:20@A1 / 1:40@A3



FD-BF: 1.2M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3

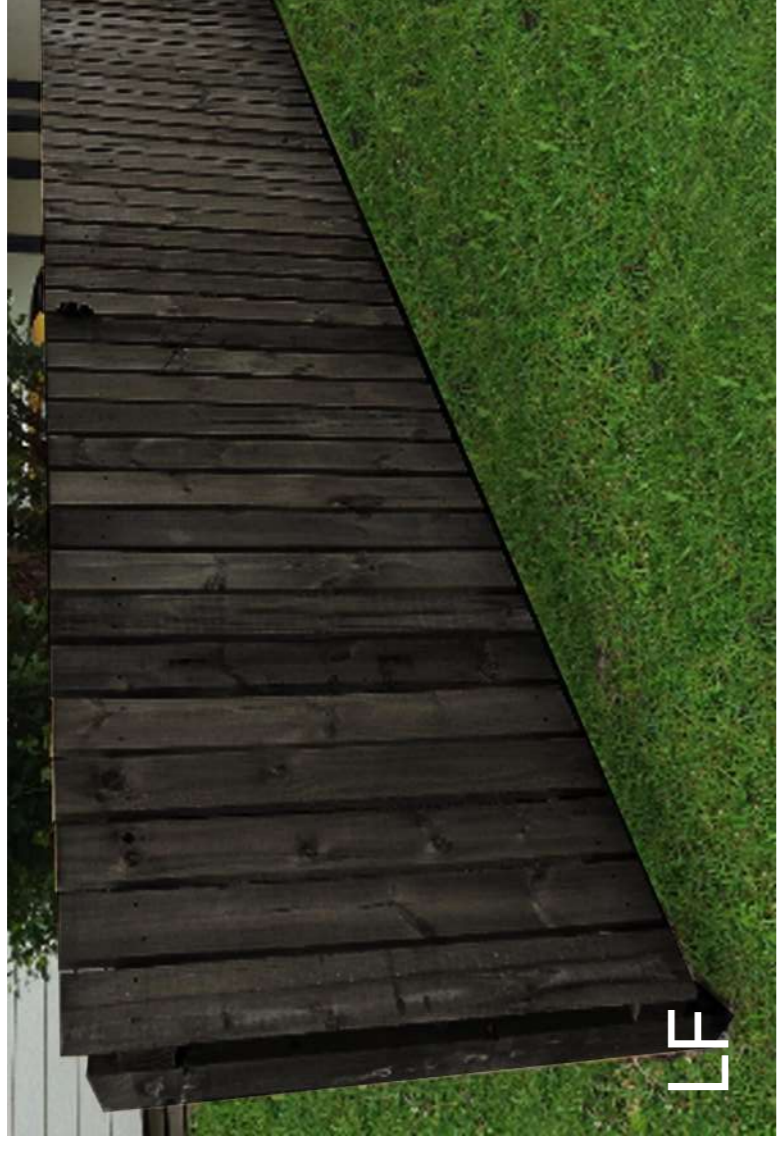
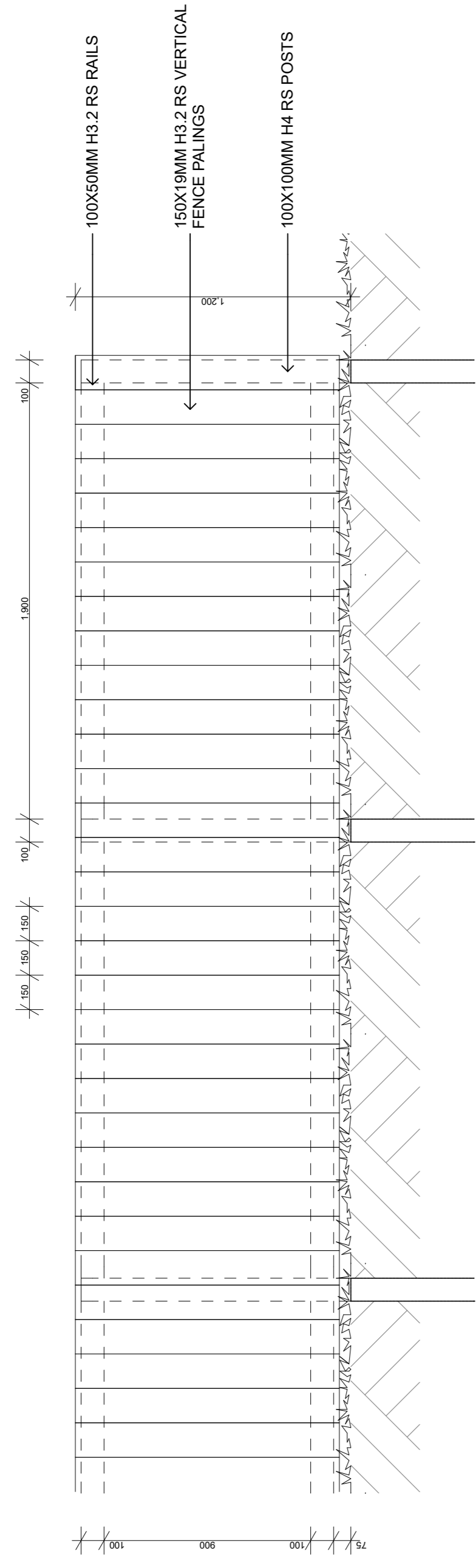


FD-OB: 1.2M OPEN ALUMINIUM BATTEN FENCE 1:20@A1 / 1:40@A3

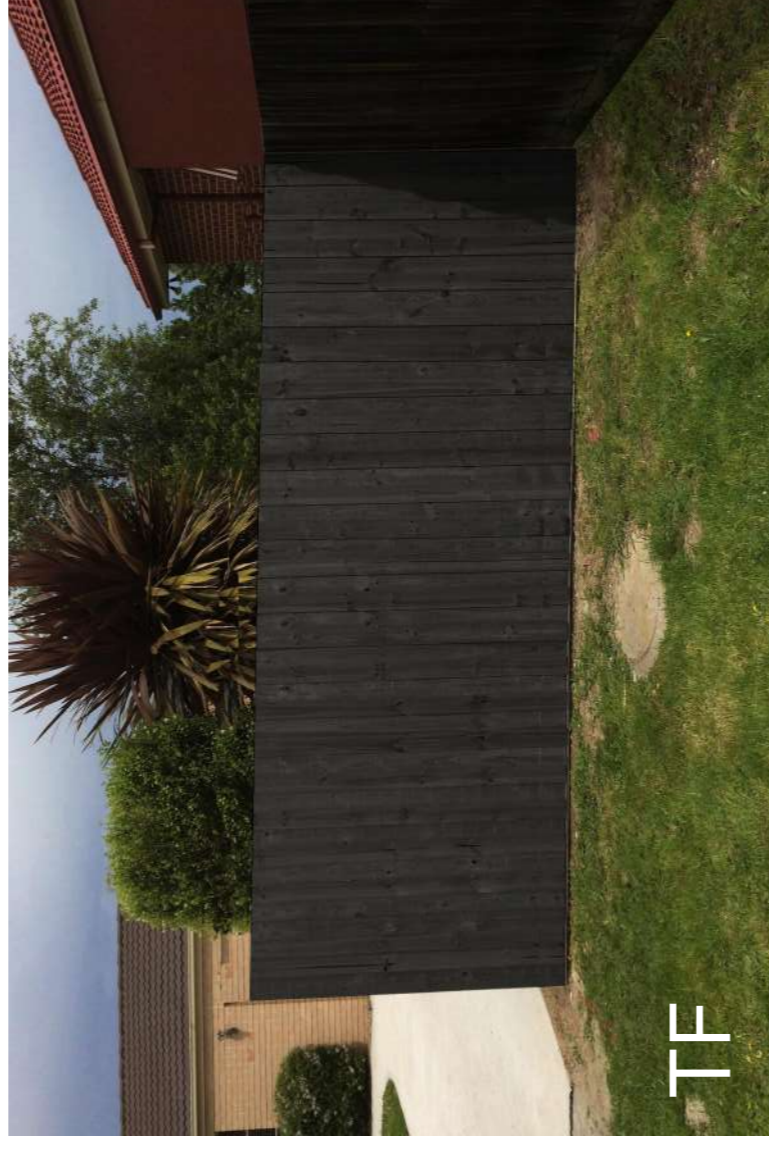
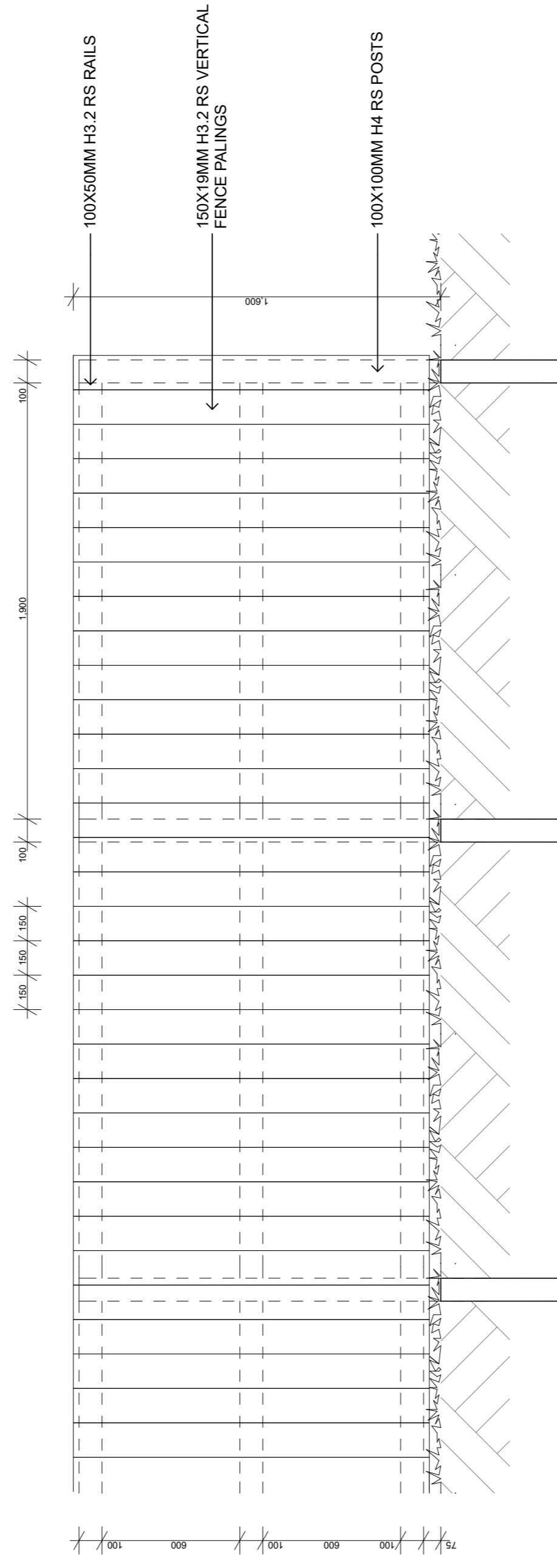


FD-TB: 1.8M TIMBER PALING FENCE 1:20@A1 / 1:40@A3

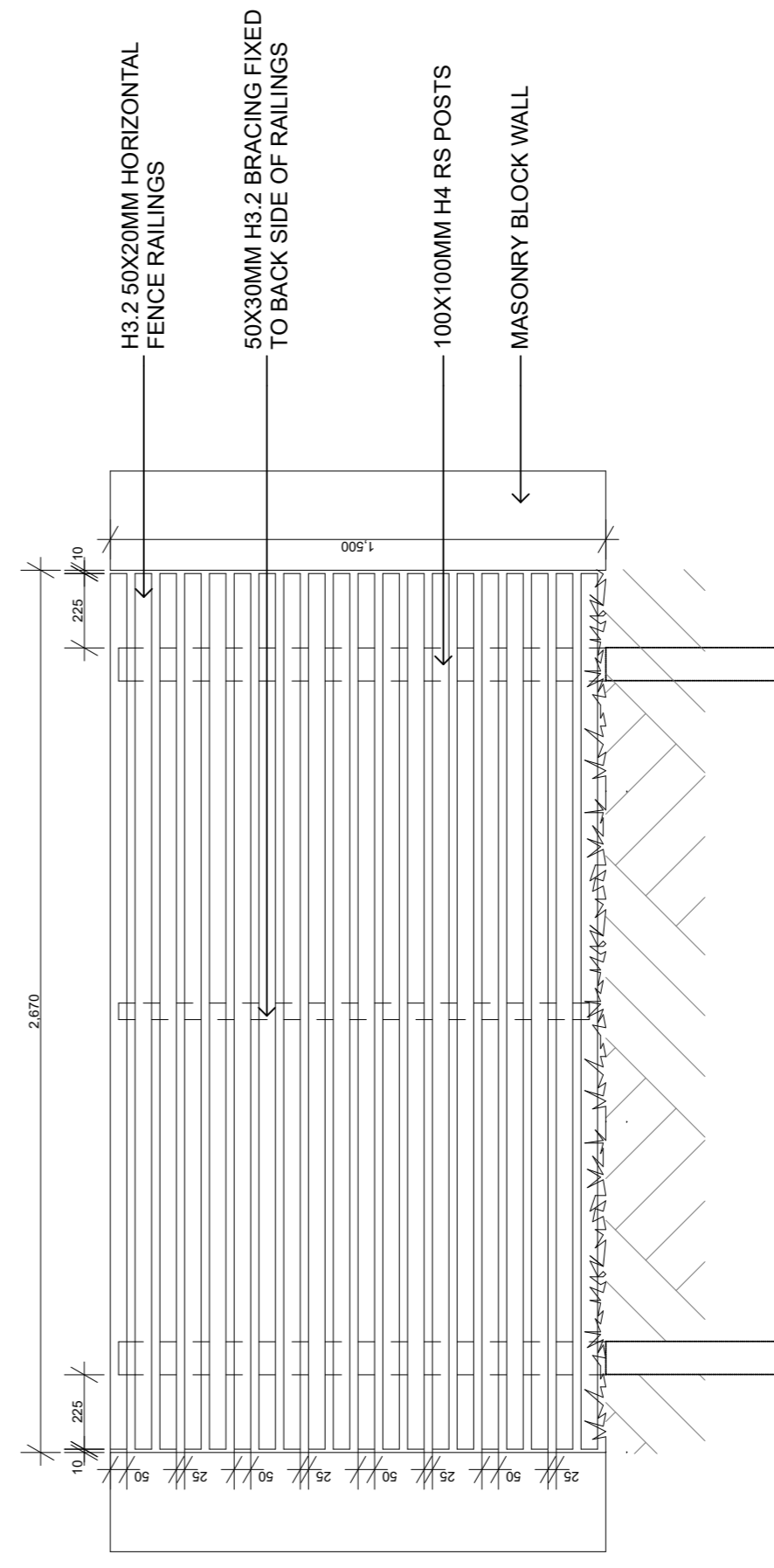
NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED



FD-LF: 1.2M TIMBER PALING FENCE 1:20@A1 / 1:40@A3



FD-TF: 1.6M TIMBER PALING FENCE 1:20@A1 / 1:40@A3



FD-HF: 1.5M HORIZONTAL BATTEN TIMBER FENCE 1:20@A1 / 1:40@A3

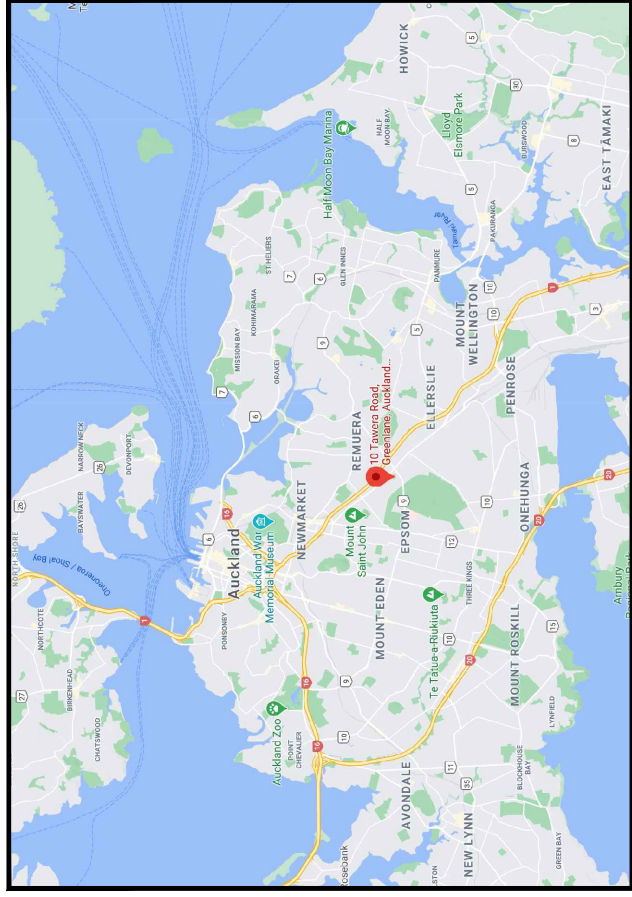
NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASUREMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED



SE-01: SOUTHERN FENCING ELEVATION 1:100@A1 / 1:200@A3

PROPOSED RESIDENTIAL DEVELOPMENT AND SUBDIVISION

10 Tawera Road, Greenlane, Auckland



LOCATION MAP

SHEET NO.	SHEET TITLE	REVISION
000	GENERAL NOTES	A
100	EXISTING FEATURES PLAN	A
200	ACCESSWAY LAYOUT PLAN	A
210	PROPOSED CUT & FILL PLAN	A
220	EROSION AND SEDIMENT CONTROL PLAN	A
221	EROSION AND SEDIMENT CONTROL DETAILS	A
310	PROPOSED DRIVEWAY LONG SECTION AND CROSS SECTION	A
400	PROPOSED STORMWATER PLAN	B
500	PROPOSED WASTEWATER AND WATER SUPPLY PLAN	A
510	PROPOSED WASTEWATER PIPE LONG SECTION	A
511	PROPOSED WASTEWATER PIPE LONG SECTION TWO	A

GENERAL:

- ALL WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH AUCKLAND COUNCIL, BUILDING CODE AND NEW ZEALAND STANDARDS AS/NZS REQUIREMENTS INCLUDING THE LATEST EDITIONS OF AUCKLAND COUNCIL, AUCKLAND TRANSPORT AND WATERCARE SERVICES CODES OF PRACTICE AND RELEVANT ENGINEERING STANDARDS, THE PROJECT SPECIFICATION AND ANY RESOURCE CONSENT, EPA & BUILDING CONSENT CONDITIONS RELATING TO THE SITE AND OTHER RELEVANT REQUIREMENTS.
- THE AREAS WHERE WORKS ARE OCCURRING SHALL BE FENCED OFF. SIGNAGE SHALL ALSO BE ERECTED TO WARN THE PUBLIC OF POTENTIAL DANGERS AND ONLY PERSONNEL DIRECTLY INVOLVED IN THE DEVELOPMENT WORKS WILL BE ALLOWED ON SITE DURING THE WORKS.
- IF DURING SETTING OUT OF THE WORKS A DISCREPANCY IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS THEY BECOME AWARE OF THE DISCREPANCY AND PRIOR TO PROCEEDING WITH THE WORK. FAILURE IN DOING SO MAY RESULT IN THE CONTRACTOR UNDERTAKING ANY REMEDIAL WORKS AT THEIR OWN COST.
- THE WORK SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH RELEVANT HOURS OF WORK AND NOISE LIMITS AS SET OUT IN THE CONSENT CONDITIONS.
- ALL WORK IN PROXIMITY OR WITHIN THE DRILPINE OF PROTECTED TREES SHALL BE SUPERVISED BY AN AUCKLAND COUNCIL APPROVED ARBORIST.
- ALL COMMUNICATIONS, POWER AND GAS SERVICES ARE TO BE DISCONNECTED AND/OR INSTALLED BY APPROVED UTILITY SERVICES CONTRACTORS / TRADESMEN.
- AS BUILT INFORMATION AND CCTV INFORMATION OF ALL NEW LINES SHALL BE PROVIDED TO THE ENGINEER. INFORMATION TO BE PROVIDED IN NZTM OR MOUNT EDEN 2000 COORDINATES IN PDF AND DWG.
- SITE PROCEDURES AND HEALTH AND SAFETY INDUCTIONS WILL BE HELD FOR ALL WORKERS BY THE SITE MANAGER.

EXISTING SERVICES:

- THE EXISTING SERVICES SHOWN ARE INDICATIVE ONLY FROM AVAILABLE RECORDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, VERIFYING & PROTECTING ALL EXISTING UNDERGROUND & ABOVE GROUND SERVICES & OTHER FEATURES FOR THE DURATION OF THE WORKS. NOTIFY THE ENGINEER IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES, AND HAVE THEM MARKED ON THE GROUND TO IDENTIFY ANY POTENTIAL PIPE CLASHES, BEFORE UNDERTAKING ANY PIPE INSTALLS.

EARTHWORKS:

- ALL EARTHWORKS AND THE CONSTRUCTION OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE UNDERTAKEN IN ACCORDANCE WITH GD-05 EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION (GD05). THE CONTRACTOR SHALL ARRANGE FOR AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE ENGINEER AND AUCKLAND COUNCIL REPRESENTATIVES PRIOR TO STARTING ANY EARTHWORKS ON SITE.
- CONSTRUCT STABILISED CONSTRUCTION ENTRANCE, CONTRACTOR LAY DOWN AREA AND EROSION AND SEDIMENT CONTROLS. STOCKPILE EXCESS SOIL AND TOPSOIL IN DESIGNATED AREAS AS AGREED WITH THE ENGINEER.
- ALL MEASURES MUST BE FULLY OPERATIONAL PRIOR TO ANY EARTHWORKS COMMENCING, AND MUST BE MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE OPERATION. OBTAIN APPROVAL FROM THE ENGINEER PRIOR TO COMMENCING ANY EARTHWORKS.
- PROGRESSIVELY STABILISE EXPOSED AREAS AS FILLING OPERATION IS ADVANCED AND COMPLETED. STABILISATION TO BE ACHIEVED BY WAY OF EITHER TOPSOIL AND GRASSING OR THE CONSTRUCTION OF PAVEMENT SURFACES, DEPENDING ON THE AREA BEING WORKED.
- ONCE THE STABILISATION MEASURES HAVE BECOME EFFECTIVE (I.E. INCLUDING THE COMPLETION OF PAVEMENTS AND 80% MINIMUM VEGETATION COVER), ACCUMULATED SEDIMENT WITHIN CONTROL DEVICES MAY BE REMOVED AND DISPOSED IN APPROVED LOCATIONS. THE EROSION AND SEDIMENT CONTROLS CAN THEN BE DECOMMISSIONED AND REMOVED.
- WHERE POSSIBLE, CIRCULATION OF ROAD VEHICLES ACCESSING THE SITE SHALL BE STRICTLY CONFINED TO STABILISED ACCESS AND YARD AREAS. SIMILARLY, CIRCULATION OF EARTH MOVING MACHINERY AND OTHER OFF-ROAD VEHICLES SHALL BE KEPT TO WITHIN THE AREAS OF WORKS, AND CLEAR OF STABILISED ACCESS OR YARD AREAS.

STORMWATER AND WASTEWATER:

- REFER TO THE AUCKLAND COUNCIL CODE OF PRACTICE FOR PUBLIC STORMWATER, AND WATERCARE CODE OF PRACTICE FOR PUBLIC WASTEWATER, 2019
- REFER TO THE NEW ZEALAND BUILDING CODE AND NZS STANDARDS FOR SPECIFICATIONS AND STANDARD DRAWINGS FOR THE CONSTRUCTION OF PRIVATE DRAINAGE WORKS. SHOULD A CONFLICT EXIST BETWEEN THE SPECIFICATIONS, THE HIGHER OF THEM STANDARDS SHALL APPLY.
- THE MINIMUM CLEARANCE BETWEEN STORMWATER AND WASTEWATER DRAINAGE LINES AND OTHER SERVICES SHALL BE 150mm.
- ALL SADDLE CONNECTIONS SHALL BE PROVIDED WITH APPROVED FLEXIBLE JOINTS.
- WASTEWATER 100mm SERVICE CONNECTIONS TO BE 1.7% min GRADE AND FOLLOWING WW15 OF WATERCARE'S STANDARD. Y (WYE)-JUNCTION SHALL BE USED ORDINARILY. TEE JUNCTIONS ARE NOT ALLOWED
- A WORKS OVER APPROVAL IS REQUIRED WITHIN 2 METRES OF A PUBLIC WATER OR WASTEWATER ASSET.
- ALL STANDARD STORMWATER MANHOLES 1050mm DIAMETER WITH 600mm HEAVY DUTY LIDS. ALL PIPES UNDER TRAFFICABLE AREAS, ACCESSWAYS AND CARPARK SHALL BE BACKFILLED WITH SUITABLE, WELL GRADED & LOCALLY SOURCED GAP65 HARDFILL AS APPROVED BY THE ENGINEER.

Notes:

REV:	DESCRIPTION:	BY:	DATE:
A	FOR RESOURCE CONSENT	PL	11.04.21

REV:	DESCRIPTION:	BY:	DATE:
	RESOURCE CONSENT		

LANDWORKS CONSULTING

PO Box 65595, Mairangi Bay, Auckland 0754
www.landworks.co.nz
Email: peter@landworks.co.nz

CLIENT:
Sixiao Liu

SITE:
10 Tawera Road,
Greenlane, Auckland

TITLE:
General Notes

SCALE:	DATE:	DRAWN:	CHECKED:
NTS	11.04.21	PL	PL
PROJECT NO:	DRAWING NO:	REVISION:	
P20-082	000		A

Notes:

1. FOR INFORMATION PURPOSES ONLY.
2. BOUNDARIES, SERVICES AND OTHER INFORMATION SHOWN IS INDICATIVE ONLY AND BASED ON TOPOGRAPHIC SURVEY DATA FROM LIM SURVEYORS LTD. RETRIEVED JAN 2020, AND AUCKLAND COUNCIL GIS DATA, RETRIEVED MARCH 2021.
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4. ALL WORKS AND STANDARD DETAILS SHALL COMPLY WITH THE FOLLOWING CODES OF PRACTICE:
 - a. AUCKLAND COUNCIL CODE OF PRACTICE FOR LAND DEVELOPMENT AND CONSTRUCTION
 - b. WATERBODIES, WATER AND WASTEWATER CODE OF PRACTICE FOR LAND DEVELOPMENT AND SUBDIVISION, VERSION 2.2, DATED NOV 2019.
 - c. AUCKLAND TRANSPORT CODE OF PRACTICE, AS IS UPDATED ON THEIR WEBSITE
 - d. ANY CONDITIONS OF ASSOCIATED RESOURCE CONSENTS SHALL TAKE PRECEDENCE AND SHALL BE COMPLIED WITH.

LEGEND

- EXISTING PROPERTY BOUNDARY
- - - SITE BOUNDARY
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - EXISTING PUBLIC STORMWATER
- - - EXISTING PUBLIC WASTEWATER
- - - EXISTING PUBLIC WATER SUPPLY
- EXISTING HYDRANT
- EXISTING POWER & POWER POLE
- EXISTING POWER POLE
- EXISTING STREET LIGHT
- EXISTING GAS
- EXISTING TELEPHONE LINE
- EXISTING CONCRETE SURFACE
- EXISTING OVERLAND FLOW PATH

A FOR RESOURCE CONSENT PL 11.04.21

REV: DESCRIPTION: BY: DATE:

STATUS: **RESOURCE CONSENT**

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CONSULTING

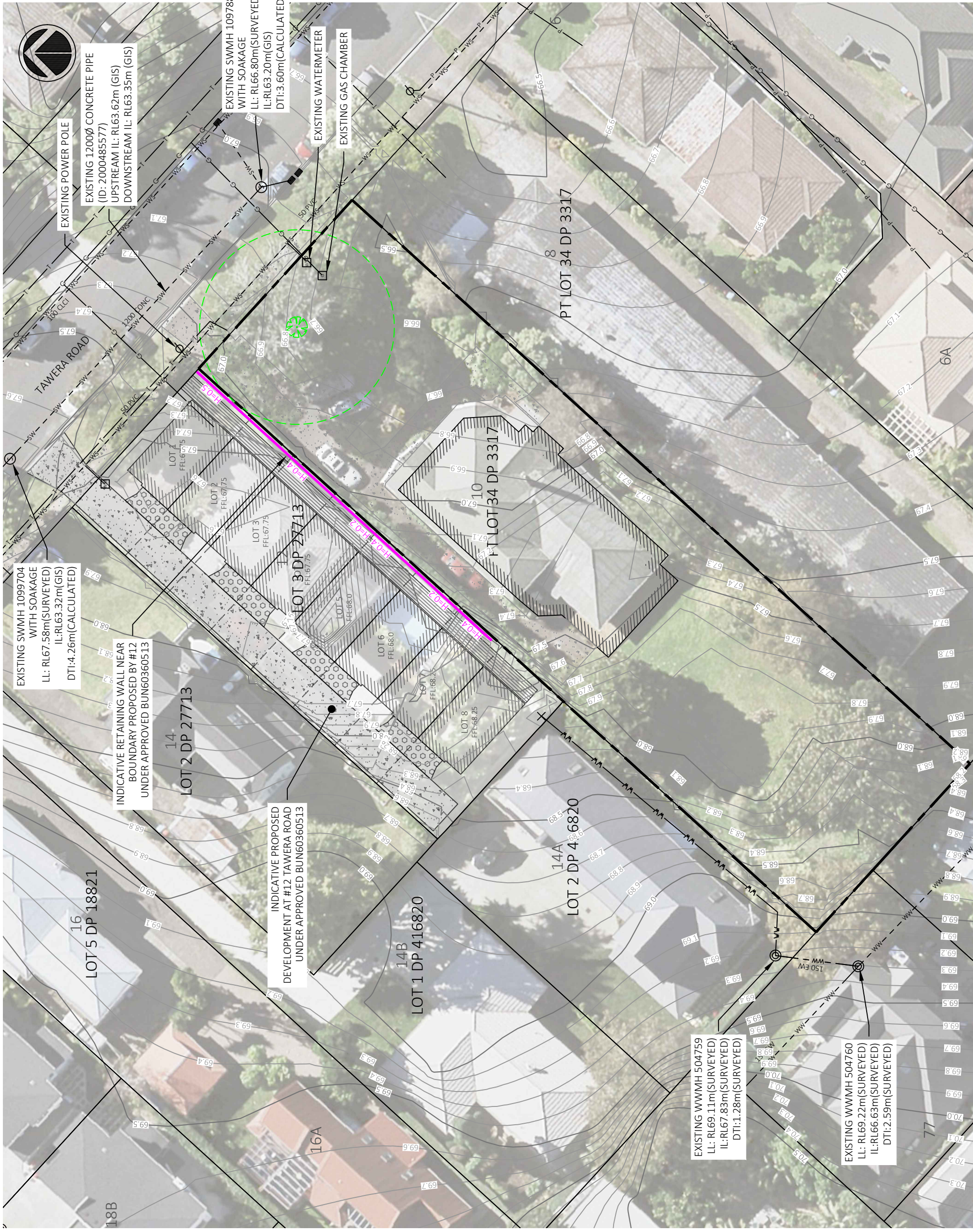
PO Box 65595, Mairangi Bay, Auckland 0754
www.landworks.co.nz
Email: peter@landworks.co.nz

CLIENT: Sixiao Liu

SITE: 10 Tawera Road,
Greenlane, Auckland

TITLE: Existing Features Plan

SCALE: 1:350	DATE: 11.04.21	DRAWN: PL	CHECKED: PL
PROJECT NO: P20-082	DRAWING NO: 100	REVISION: A	



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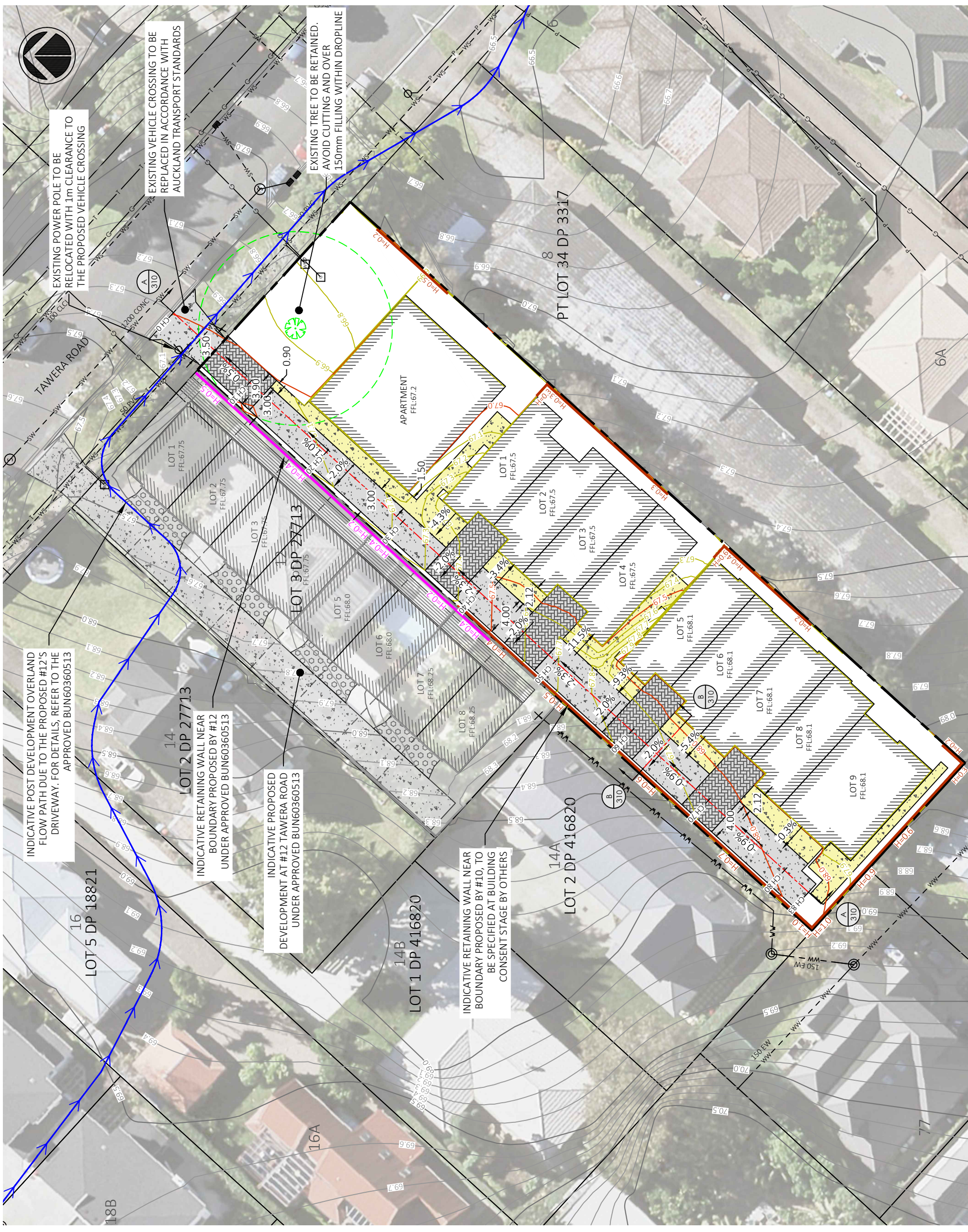
LEGEND

- EXISTING PROPERTY BOUNDARY
- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DRIVEWAY (CONCRETE PAVING)
- PROPOSED PEDESTRIAN (ALTERNATIVE CONCRETE PAVING)
- PROPOSED DRIVEWAY (HOLLAND SET PAVERS)
- PROPOSED RETAINING WALL
- PROPOSED DWELLING WITH EXTENT OF EAVES
- EXISTING PUBLIC STORMWATER
- EXISTING PUBLIC WASTEWATER
- EXISTING PUBLIC WATER SUPPLY
- EXISTING HYDRANT
- EXISTING POWER
- EXISTING GAS
- EXISTING TELEPHONE LINE
- EXISTING CONCRETE PAVE
- EXISTING OVERLAND FLOW PATH

REV:	DESCRIPTION:	DATE:
A	FOR RESOURCE CONSENT	PL 11.04.21

LANDWORKS CONSULTING
 PO Box 65595, Mairangi Bay, Auckland 0754
 www.landworks.co.nz
 Email: peter@landworks.co.nz

CLIENT:	Sixiao Liu
SITE:	10 Tawera Road, Greenlane, Auckland
TITLE:	Accessway Layout Plan
SCALE:	1:350
DATE:	11.04.21
DRAWING NO.:	P20-082
CHECKED:	PL
REVISION:	PL
DRAWING NO.:	200
REVISION:	A



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LEGEND

- EXISTING PROPERTY BOUNDARY
- - - SITE BOUNDARY
- - - PROPOSED LOT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR ISOPACH
- PROPOSED MINOR ISOPACH

Surface Analysis: Elevation Ranges					
Number	Color	Minimum Elevation (m)	Maximum Elevation (m)	20 Steps (m)	Volume (m³)
1	Red	-1.00	-0.50	0.021	13.4
2	Orange	-0.50	0.00	0.021	149.6
3	Yellow	0.00	0.50	0.021	1085.9
4	Green	0.50	1.00	0.021	0.7

THE CUT AND FILL VOLUMES IN ABOVE TABLE IS COMPARISON BETWEEN EXISTING GROUND LEVEL AND PROPOSED FINISHED LEVEL.

ASSUMING PROPOSED FINISHED LEVEL AT BUILDING FOUNDATION IS 300mm BELOW THE FLOOR LEVEL.

EXTENT OF EARTHWORKS: 1789m²

TOTAL CUT VOLUME: 163.0m³

TOTAL FILL VOLUME: 197.9m³

NET FILL VOLUME: 34.9m³

A FOR RESOURCE CONSENT PL 11.04.21

REV: DESCRIPTION: BY: DATE:

STATUS: **RESOURCE CONSENT**

LANDWORKS
CONSULTING

PO Box 65595, Mairangi Bay, Auckland 0754
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Email: peter@landworks.co.nz

CLIENT: Sixiao Liu

SITE: 10 Tawera Road,
Greenlane, Auckland

TITLE: Proposed Cut and Fill Plan

SCALE 1:350	DATE: 11.04.21	DRAWN: PL	CHECKED: PL
PROJECT NO: P20-082	DRAWING NO: 210	REVISION: A	



Notes:

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LEGEND

- EXISTING PROPERTY BOUNDARY
- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR ISOPACH
- PROPOSED MINOR ISOPACH
- PROPOSED CLEAN WATER DIVERSION BUND
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION ENTRANCE

A FOR RESOURCE CONSENT PL 11.04.21

REV: DESCRIPTION: BR: DATE: STATUS: **RESOURCE CONSENT**

LANDWORKS
CONSULTING

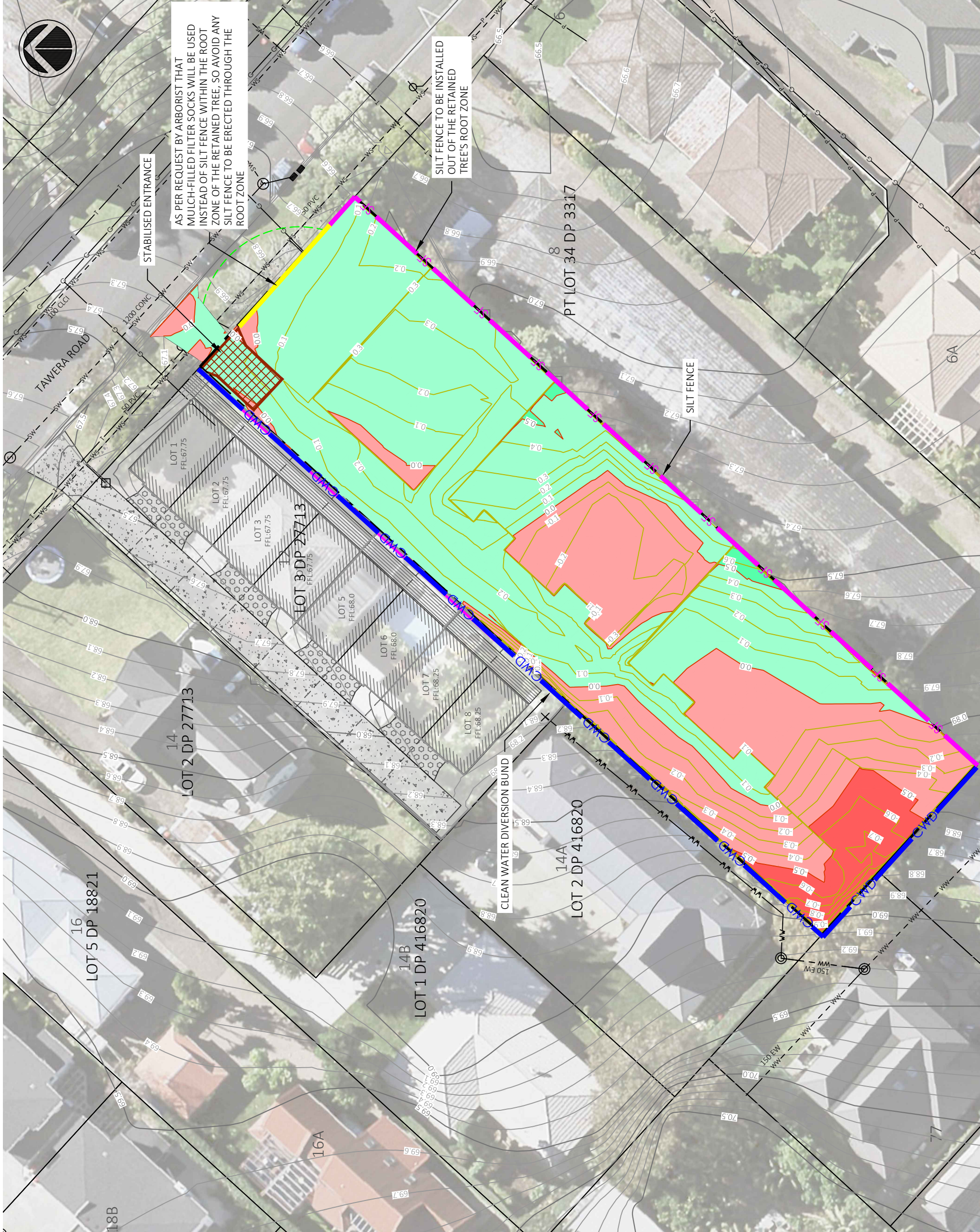
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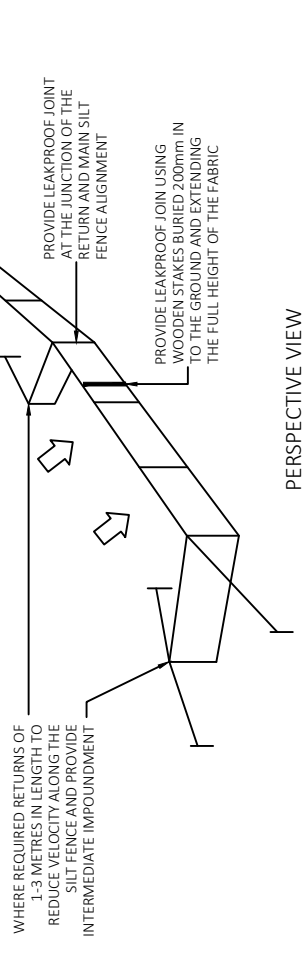
TITLE: Proposed Erosion and Sediment
Control Plan

SCALE: 1:350	DATE: 11.04.21	DRAWING NO: P20-082	CHECKED: PL	REVISION: PL
			220	A

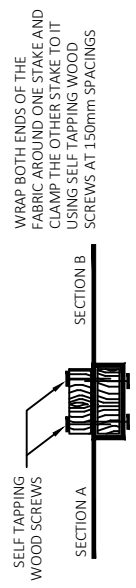


Notes:

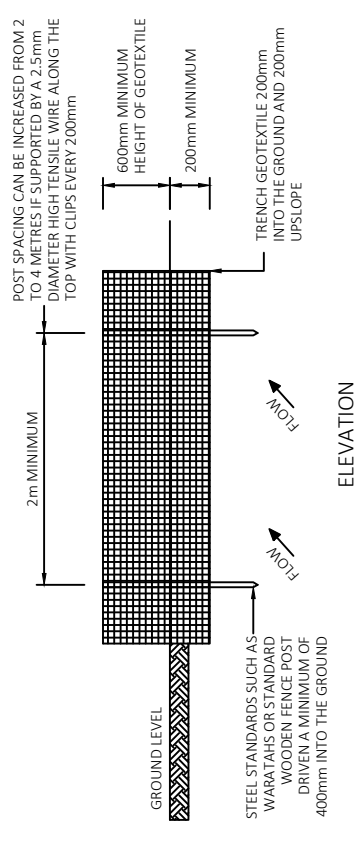
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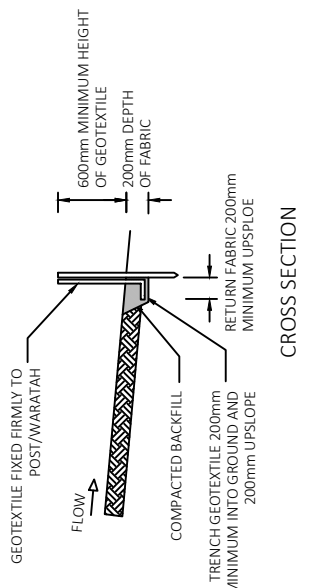
PERSPECTIVE VIEW



STANDARD FABRIC JOINT



ELEVATION



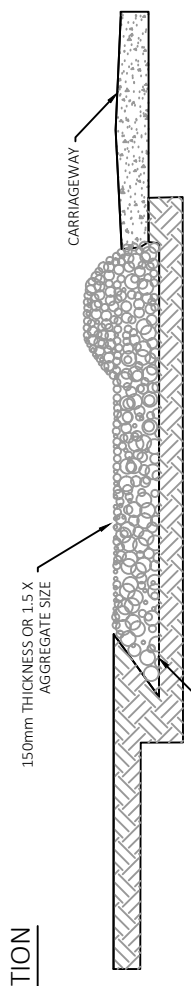
CROSS SECTION

SILT FENCE DESIGN CRITERIA:

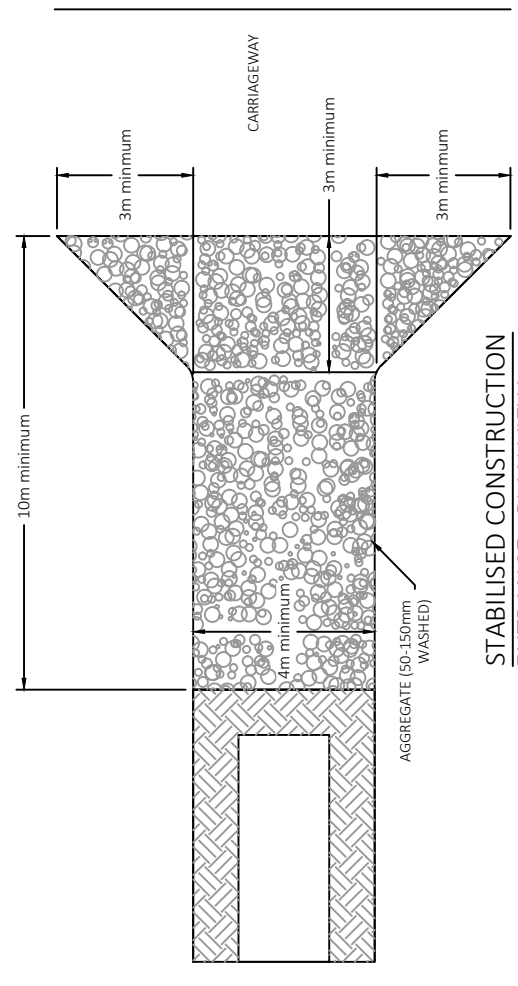
SLOPE STEEPNESS %	SLOPE LENGTH (m) (MAXIMUM)	SPACING OF RETURNS (m)
<2%	N/A	UNLIMITED
2-10%	40	60
10-20%	30	50
20-33%	20	40
33-50%	15	30
>50%	6	20

GRAB TENSILE STRENGTH: >40N (ASTM D4632)
 TENSILE MODULUS: 0.140 pa (MINIMUM)
 APPARENT OPENING SIZE: 0.1-0.5mm (ASTM D4751)

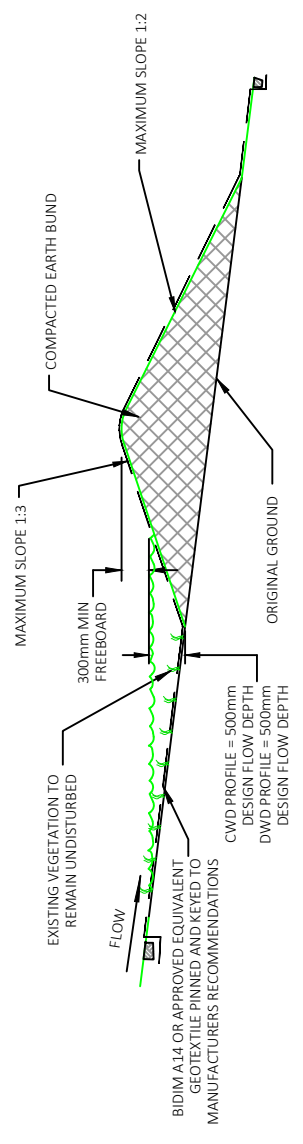
SILT FENCE CONSTRUCTION



STABILISED CONSTRUCTION ENTRANCE - SIDE ELEVATION



STABILISED CONSTRUCTION ENTRANCE - PLAN VIEW



CLEAN AND/OR DIRTY WATER RUNOFF DIVERSION BUND

FOR RESOURCE CONSENT

REV:	DESCRIPTION:	BY:	DATE:
A	FOR RESOURCE CONSENT	PL	11.04.21

LANDWORKS CONSULTING
 PO Box 65595, Mairangi Bay, Auckland 0754
 www.landworks.co.nz
 Email: peter@landworks.co.nz

CLIENT:
Sixiao Liu

SITE:
10 Tawera Road, Greenlane, Auckland

TITLE:
Proposed Erosion and Sediment Control Details

SCALE:	DATE:	DRAWN:	CHECKED:
NTS	11.04.21	PL	PL
PROJECT NO:	DRAWING NO:	REVISION:	
P20-082	221		A

Notes:

- FOR INFORMATION PURPOSES ONLY.
- BOUNDARIES, SERVICES AND OTHER INFORMATION SHOWN IS INDICATIVE ONLY AND BASED ON TOPOGRAPHIC SURVEY FROM LIM SURVEYORS LTD. RETRIEVED JAN 2020, AND AUCKLAND COUNCIL GIS DATA, RETRIEVED MARCH 2021.
- THE EXISTING SERVICES SHOWN ARE INDICATIVE ONLY. THE CONTRACTOR SHALL LOCATE, VERIFY & PROTECT ALL EXISTING UNDERGROUND & ABOVE GROUND SERVICES & OTHER FEATURES BEFORE STARTING WORKS AND FOR THE DURATION OF THE WORKS.
- ALL WORKS AND STANDARD DETAILS SHALL COMPLY WITH THE FOLLOWING CODES OF PRACTICE:
 - AUCKLAND COUNCIL CODE OF PRACTICE FOR LAND DEVELOPMENT AND CONSTRUCTION (2019)
 - NEW ZEALAND STANDARD NZS 4201:2019 (WATER AND WASTEWATER CODE OF PRACTICE FOR LAND DEVELOPMENT AND SUBDIVISION, VERSION 2.2, DATED NOV 2019)
 - AUCKLAND TRANSPORT CODE OF PRACTICE, AS IS UPDATED ON THEIR WEBSITE
 - ANY CONDITIONS OF ASSOCIATED RESOURCE CONSENTS SHALL TAKE PRECEDENCE AND SHALL BE COMPLIED WITH.

LEGEND

- EXISTING PROPERTY BOUNDARY
- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DRIVEWAY (CONCRETE PAVING)
- PROPOSED PEDESTRIAN (ALTERNATIVE CONCRETE PAVING)
- PROPOSED DRIVEWAY (HOLLAND SET PAVERS)
- PROPOSED RETAINING WALL
- PROPOSED DWELLING WITH EXTENT OF EAVES
- EXISTING PUBLIC STORMWATER
- EXISTING PUBLIC WASTEWATER
- EXISTING PUBLIC WATER SUPPLY
- EXISTING HYDRANT
- EXISTING POWER
- EXISTING GAS
- EXISTING TELEPHONE LINE
- EXISTING CONCRETE PAVE
- EXISTING OVERLAND FLOW PATH
- PROPOSED PRIVATE STORMWATER CONNECTION (100Ø UPVC)
- PROPOSED SLIP-FORM DISH CHANNEL WITH 100mmØ UNDERCHANNEL DRAIN
- PROPOSED 450x450 PRIVATE CESSPIT
- PROPOSED PRIVATE SOAKAGE PIT TO BE SPECIFIED AT BUILDING CONSENT STAGE

B	INCORPORATE LITTATRAP WITH CESSPIT	PL	01.06.21
A	FOR RESOURCE CONSENT	PL	11.04.21

REV:	DESCRIPTION:	BY:	DATE:
	RESOURCE CONSENT		

LANDWORKS CONSULTING

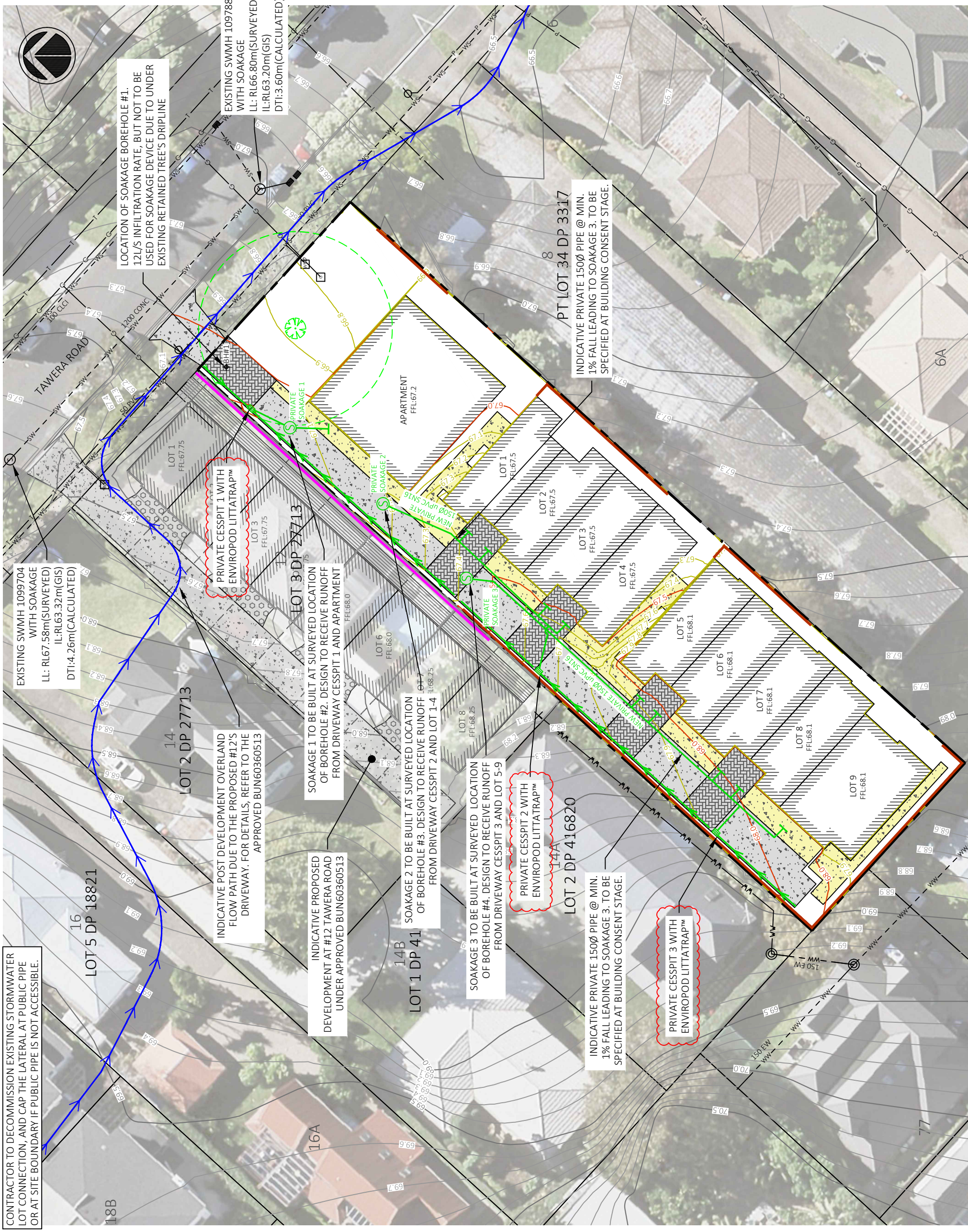
PO Box 65595, Mairangi Bay, Auckland 0754
 www.landworks.co.nz
 Email: peter@landworks.co.nz

CLIENT: Sixiao Liu

SITE: 10 Tawera Road, Greenlane, Auckland

TITLE: Proposed Stormwater Plan

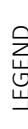

SCALE: AS SHOWN	DATE: 11.04.21	DRAWING NO: 400	CHECKED: PL
PROJECT NO: P20-082	DRAWING NO: 400	REVISION: PL	B

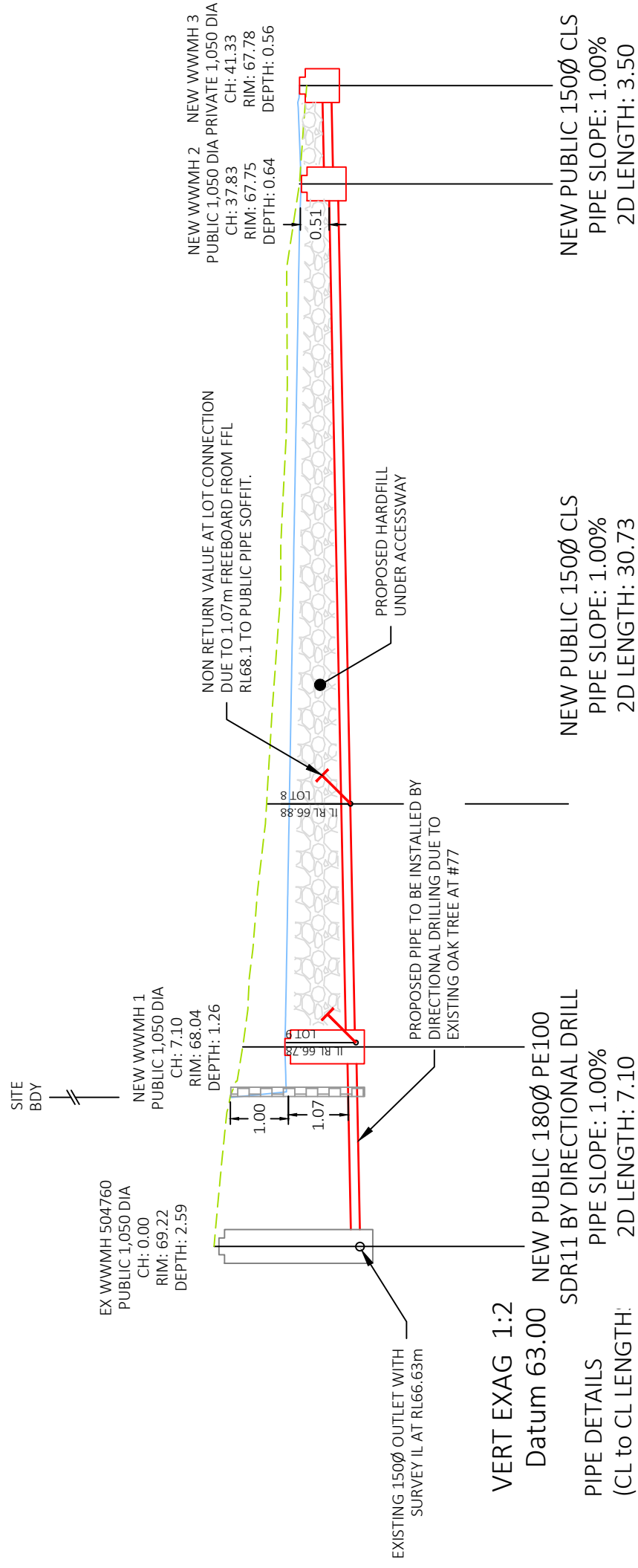


Notes:


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 - b. WATER AND WASTEWATER CODE OF PRACTICE FOR LAND DEVELOPMENT AND CONSTRUCTION.
 - c. WATER AND WASTEWATER CODE OF PRACTICE FOR LAND DEVELOPMENT AND CONSTRUCTION, VERSION 2.2, DATED NOV 2019.
 - d. AUCKLAND TRANSPORT CODE OF PRACTICE, AS IS UPDATED ON THEIR WEBSITE.
 - e. AUCKLAND TRANSPORT CODE OF PRACTICE, AS IS UPDATED ON THEIR WEBSITE.
 - f. ANY CONDITIONS OF ASSOCIATED RESOURCE CONSENTS SHALL TAKE PRECEDENCE AND SHALL BE COMPLIED WITH.
5. WASTEWATER 100mm SERVICE CONNECTIONS TO BE 1.7% MIN GRADE AND FOLLOWING WWSJ5 OF WATERCARE'S STANDARD. Y (WYE)-JUNCTION SHALL BE USED UNLESS OTHERWISE NOTED.
6. WATERCARE ENGINEERING QUALITY STANDARD DRAWINGS SHALL BE USED WHEREVER APPLICABLE FOR THE WORK. WSL COP VERSION 2019.
7. A WORKS OVER APPROVAL IS REQUIRED WITHIN 2 METRES OF A PUBLIC WATER OR WASTEWATER ASSET.

LEGEND

	EXISTING GROUND LEVEL
	PROPOSED FINISHED LEVEL
	PROPOSED HARDFILL BACKFILL
	PROPOSED DWELLING FOUNDATION



DESIGN LEVEL AT MH CL	INVERT LEVEL	COVER	CHAINAGE
69.22	66.71	2.44	0.00
68.04	66.78	1.10	7.10
66.80	66.78	1.08	7.10
67.23	67.11	0.49	37.83
67.78	67.75	0.40	41.33

DETAIL:  PROPOSED WASTEWATER LONG SECTION
SCALE: 1:200H, 1:100V(A3)

A	FOR RESOURCE CONSENT	PL	11.04.21
REV:	DESCRIPTION:	BY:	DATE:
STATUS: RESOURCE CONSENT			

LANDWORKS
CONSULTING

PO Box 65595, Mairangi Bay, Auckland 0754
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CLIENT: Sixiao Liu

SITE: 10 Tawera Road,
Greenlane, Auckland

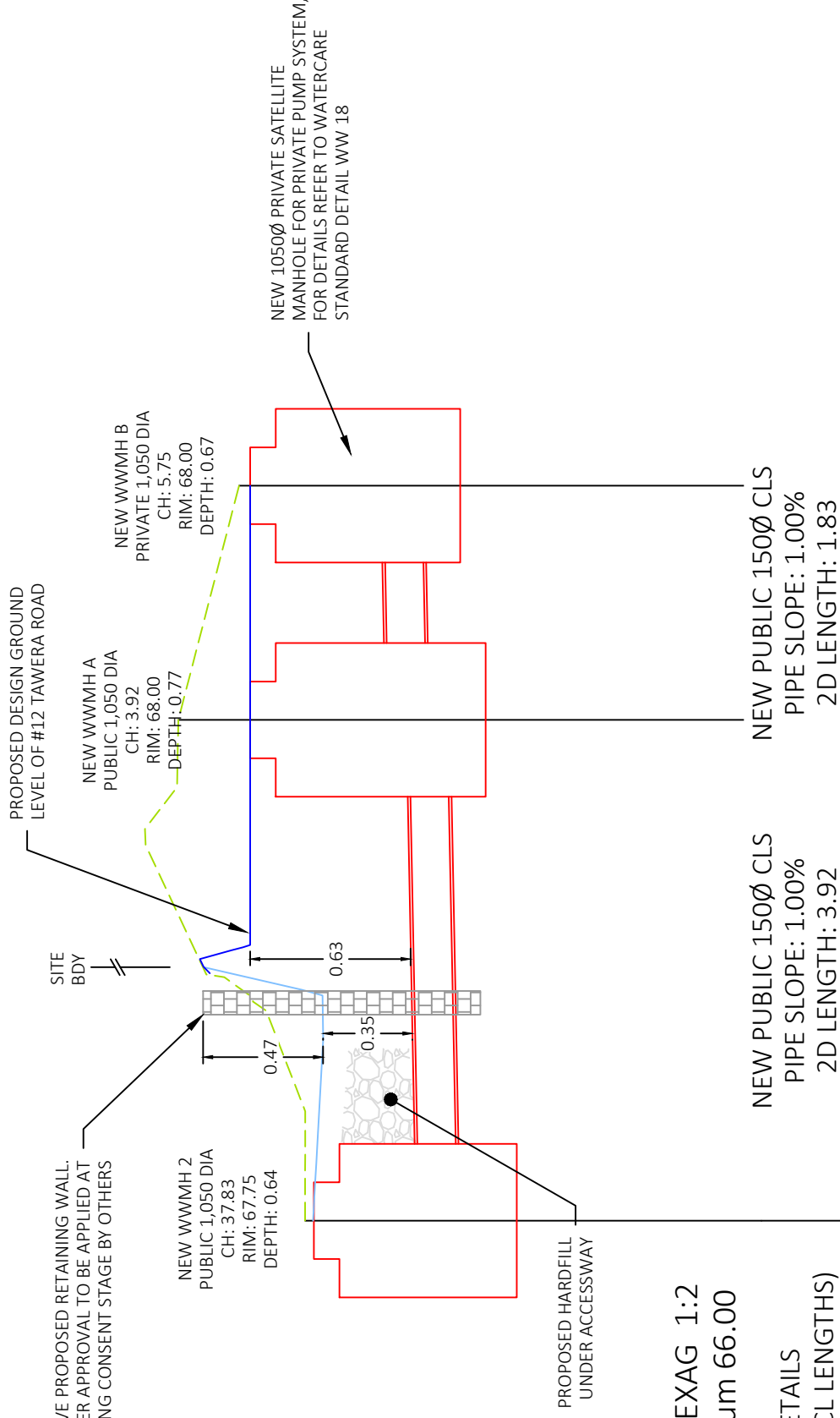
TITLE: Proposed Wastewater Long
Section

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
As Shown	11.04.21	PL	PL
PROJECT NO:	DRAWING NO:	REVISION:	
P20-082	510		A

THIS LONG SECTION IS FOR INFORMATION ONLY.

THIS WASTEWATER EXTENSION IS FOR NEIGHBOUR #12A, THEREFORE WILL BE CONSTRUCTED UNDER #12'S DEVELOPMENT, AND IS NOT PART OF #10'S DEVELOPMENT.

FORMAL NEIGHBOUR AGREEMENT WILL BE SPECIFIED BETWEEN #10 & #12 IN REGARDS TO THE WASTEWATER EXTENSION.




VERT EXAG 1:2

Datum 66.00


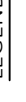

PIPE DETAILS
(CL to CL LENGTHS)

DESIGN LEVEL AT MH CL	67.75	68.00	68.00	68.00
INVERT LEVEL	67.19	67.23	67.31	67.33
COVER	0.40	0.89	0.81	0.55
CHAINAGE		3.92	0.81	5.75

DETAIL:  PROPOSED WASTEWATER LONG SECTION
SCALE: 1:50H, 1:25V(A3)

Notes:

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- WASTEWATER 100mm SERVICE CONNECTIONS TO BE 1.7% MIN GRADE AND FOLLOWING WW15 OF WATERCARE'S STANDARD. Y (WYE)-JUNCTION SHALL BE USED UNLESS OTHERWISE NOTED. THE JUNCTIONS ARE NOT ALLOWED.
- WATERCARE ENGINEERING QUALITY STANDARD DRAWINGS SHALL BE USED WHEREVER APPLICABLE FOR THE WORK. WSL COP VERSION 2019.
- A WORKS OVER APPROVAL IS REQUIRED WITHIN 2 METRES OF A PUBLIC WATER OR WASTEWATER ASSET.

LEGEND	
	EXISTING GROUND LEVEL
	PROPOSED FINISHED LEVEL
	PROPOSED HARDFILL BACKFILL
	PROPOSED DWELLING FOUNDATION

A FOR RESOURCE CONSENT PL 11.04.21

REV: DESCRIPTION: BY: DATE:
STATUS: **RESOURCE CONSENT**

LANDWORKS
CONSULTING

PO Box 65595, Mairangi Bay, Auckland 0754
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Email: peter@landworks.co.nz

CLIENT:

Sixiao Liu

SITE:

10 Tawera Road,
Greenlane, Auckland

TITLE:

Proposed Wastewater Long
Section Two

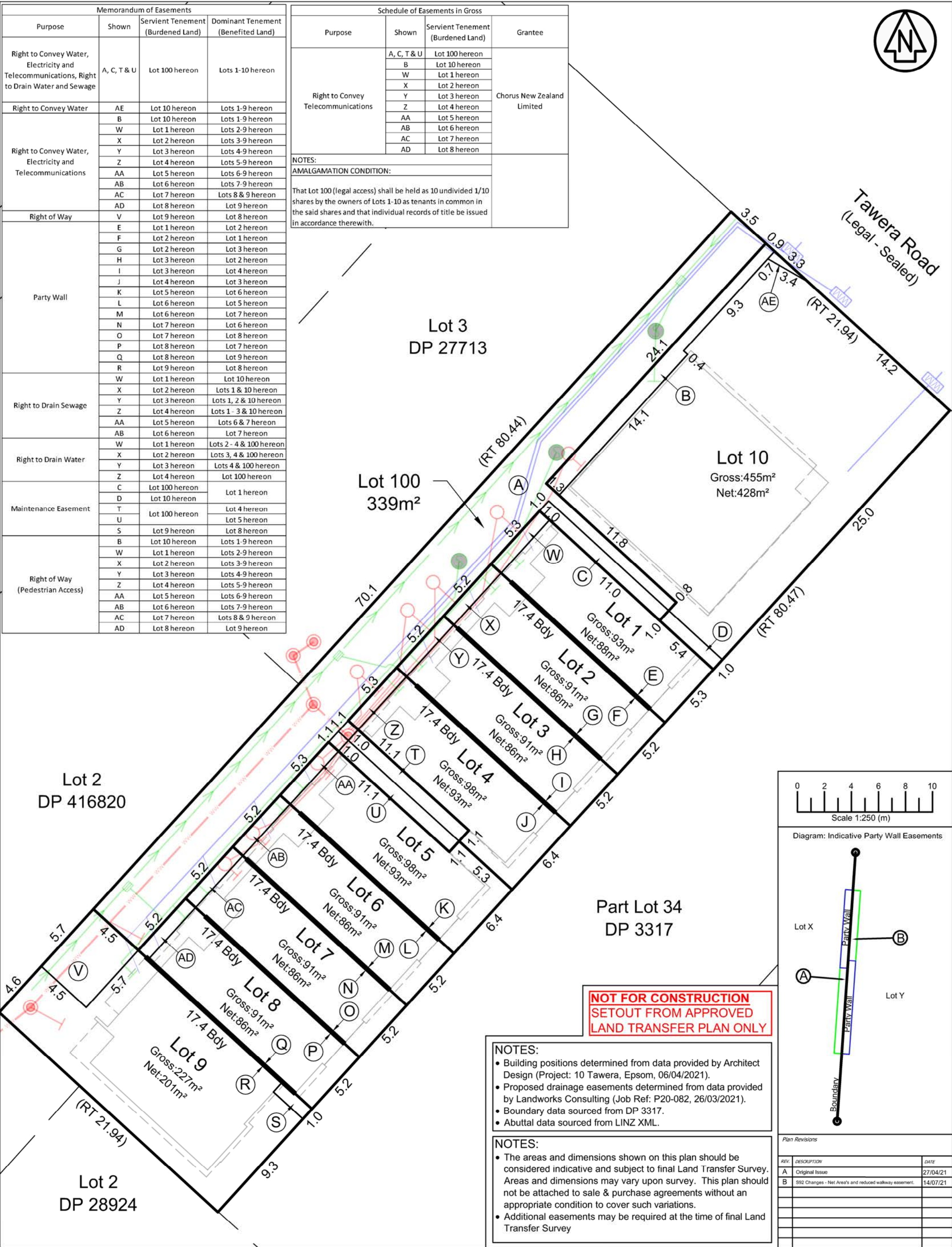
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
As Shown	11.04.21	PL	PL
PROJECT NO:	DRAWING NO:	REVISION:	
P20-082	511		A



Memorandum of Easements			
Purpose	Shown	Servient Tenement (Burdened Land)	Dominant Tenement (Benefited Land)
Right to Convey Water, Electricity and Telecommunications, Right to Drain Water and Sewage	A, C, T & U	Lot 100 hereon	Lots 1-10 hereon
Right to Convey Water	AE	Lot 10 hereon	Lots 1-9 hereon
Right to Convey Water, Electricity and Telecommunications	B	Lot 10 hereon	Lots 1-9 hereon
	W	Lot 1 hereon	Lots 2-9 hereon
	X	Lot 2 hereon	Lots 3-9 hereon
	Y	Lot 3 hereon	Lots 4-9 hereon
	Z	Lot 4 hereon	Lots 5-9 hereon
	AA	Lot 5 hereon	Lots 6-9 hereon
	AB	Lot 6 hereon	Lots 7-9 hereon
	AC	Lot 7 hereon	Lots 8 & 9 hereon
AD	Lot 8 hereon	Lot 9 hereon	
Right of Way	V	Lot 9 hereon	Lot 8 hereon
Party Wall	E	Lot 1 hereon	Lot 2 hereon
	F	Lot 2 hereon	Lot 1 hereon
	G	Lot 2 hereon	Lot 3 hereon
	H	Lot 3 hereon	Lot 2 hereon
	I	Lot 3 hereon	Lot 4 hereon
	J	Lot 4 hereon	Lot 3 hereon
	K	Lot 5 hereon	Lot 6 hereon
	L	Lot 6 hereon	Lot 5 hereon
	M	Lot 6 hereon	Lot 7 hereon
	N	Lot 7 hereon	Lot 6 hereon
	O	Lot 7 hereon	Lot 8 hereon
	P	Lot 8 hereon	Lot 7 hereon
	Q	Lot 8 hereon	Lot 9 hereon
	R	Lot 9 hereon	Lot 8 hereon
	W	Lot 1 hereon	Lot 10 hereon
	X	Lot 2 hereon	Lots 1 & 10 hereon
Y	Lot 3 hereon	Lots 1, 2 & 10 hereon	
Z	Lot 4 hereon	Lots 1 - 3 & 10 hereon	
AA	Lot 5 hereon	Lots 6 & 7 hereon	
AB	Lot 6 hereon	Lot 7 hereon	
Right to Drain Sewage	W	Lot 1 hereon	Lots 2 - 4 & 100 hereon
	X	Lot 2 hereon	Lots 3, 4 & 100 hereon
	Y	Lot 3 hereon	Lots 4 & 100 hereon
	Z	Lot 4 hereon	Lot 100 hereon
Right to Drain Water	W	Lot 1 hereon	Lots 2 - 4 & 100 hereon
	X	Lot 2 hereon	Lots 3, 4 & 100 hereon
	Y	Lot 3 hereon	Lots 4 & 100 hereon
	Z	Lot 4 hereon	Lot 100 hereon
Maintenance Easement	C	Lot 100 hereon	Lot 1 hereon
	D	Lot 10 hereon	Lot 4 hereon
	T	Lot 100 hereon	Lot 5 hereon
	U	Lot 100 hereon	Lot 8 hereon
Right of Way (Pedestrian Access)	S	Lot 9 hereon	Lots 1-9 hereon
	B	Lot 10 hereon	Lots 1-9 hereon
	W	Lot 1 hereon	Lots 2-9 hereon
	X	Lot 2 hereon	Lots 3-9 hereon
	Y	Lot 3 hereon	Lots 4-9 hereon
	Z	Lot 4 hereon	Lots 5-9 hereon
	AA	Lot 5 hereon	Lots 6-9 hereon
	AB	Lot 6 hereon	Lots 7-9 hereon
AC	Lot 7 hereon	Lots 8 & 9 hereon	
AD	Lot 8 hereon	Lot 9 hereon	

Schedule of Easements in Gross			
Purpose	Shown	Servient Tenement (Burdened Land)	Grantee
Right to Convey Telecommunications	A, C, T & U	Lot 100 hereon	Chorus New Zealand Limited
	B	Lot 10 hereon	
	W	Lot 1 hereon	
	X	Lot 2 hereon	
	Y	Lot 3 hereon	
	Z	Lot 4 hereon	
	AA	Lot 5 hereon	
	AB	Lot 6 hereon	
	AC	Lot 7 hereon	
	AD	Lot 8 hereon	

NOTES:
 AMALGAMATION CONDITION:
 That Lot 100 (legal access) shall be held as 10 undivided 1/10 shares by the owners of Lots 1-10 as tenants in common in the said shares and that individual records of title be issued in accordance therewith.



**NOT FOR CONSTRUCTION
 SETOUT FROM APPROVED
 LAND TRANSFER PLAN ONLY**

NOTES:
 • Building positions determined from data provided by Architect Design (Project: 10 Tawera, Epsom, 06/04/2021).
 • Proposed drainage easements determined from data provided by Landworks Consulting (Job Ref: P20-082, 26/03/2021).
 • Boundary data sourced from DP 3317.
 • Abuttal data sourced from LINZ XML.

NOTES:
 • The areas and dimensions shown on this plan should be considered indicative and subject to final Land Transfer Survey. Areas and dimensions may vary upon survey. This plan should not be attached to sale & purchase agreements without an appropriate condition to cover such variations.
 • Additional easements may be required at the time of final Land Transfer Survey

CSNZ THE CONSULTING SURVEYORS OF NEW ZEALAND
 A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS

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CAD and Production by
NORTHERN LAND
 DEVELOPMENT CONSULTANTS

G/11 Cheshire Street Parnell, Auckland. Ph: (09) 309 3761
 Email: scott@northerland.co.nz www.northerland.co.nz

Notes
Warning
 This Plan has been prepared for the purpose of a resource consent application only. It is not a precise survey plan. As areas and dimensions are likely to vary upon survey it should not be attached to sale & purchase agreements without an appropriate condition to cover such variations.
 Any person using Northern Land drawings and other data accepts the risk of:
 - using the drawings and other data in electronic form without requesting and checking them for accuracy against the original hard copy versions or with Northern Land directly;
 - ensuring the information is the most recent issue.

Prepared for
Resource Consent

Drawing Title
**Lots 1-10 & 100 Being a Proposed Subdivision of Part Lot 34 DP 3317
 10 Tawera Road, Greenlane, Auckland**

APPLICANT
 Sixiao Liu

COMPILED BY
 NA284/42

TERRITORIAL AUTHORITY
 Auckland Council

LAND DISTRICT
 North Auckland

TOTAL AREA
 1765m²

DATE
 14/07/2021

SCALE
 1:250 @ A3

DATUM & LEVEL
 Mt Eden 2000

REVISION	DRAWING REFERENCE	SHEET
B	X1127_T1	01 of 01

DATE	CHECKED	DATE
27/04/2021	R.C.	14/07/2021
27/04/2021	R.C.	14/07/2021

0 2 4 6 8 10
 Scale 1:250 (m)

Diagram: Indicative Party Wall Easements

Plan Revisions

REV	DESCRIPTION	DATE
A	Original Issue	27/04/21
B	S92 Changes - Net Area's and reduced walkway easement.	14/07/21