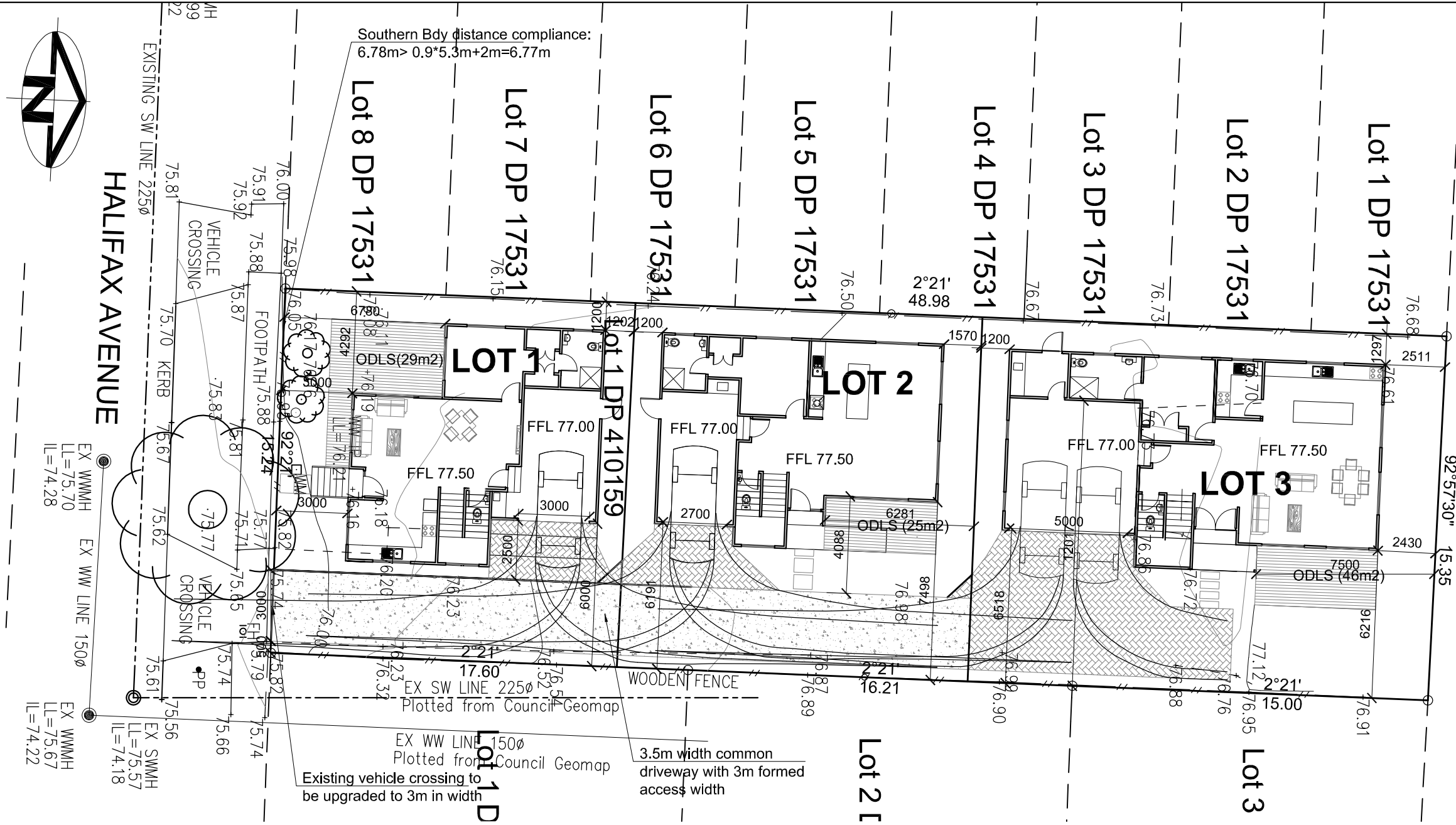




**BUN60419343, LUC60419344**  
Approved Resource Consent Plan

04/03/2024



**LEGAL DESCRIPTION**

LOT 1  
DP 410159  
2 HALIFAX AVE,  
EPSOM,  
AUCKLAND  
SITE AREA 751 m<sup>2</sup>

**ZONE**

MIXED HOUSING SUBURBAN ZONE

**SITE INFORMATION**

	Gross Site Area(m <sup>2</sup> )	Net Site Area(m <sup>2</sup> )	Building Coverage		Impermeable Paved Area(m <sup>2</sup> )	Impervious Area(m <sup>2</sup> )	Landscape Area (m <sup>2</sup> )		Permeable Paved Area(m <sup>2</sup> )	3m Front yard Landscaped Area (m <sup>2</sup> )		
Lot 1	225.5	174.4	93.2	53.4%	43.9	145.8	64.7%	78	44.7%	10.5	36.7	80.30%
Lot 2	226	174.4	100.5	57.6%	44.3	153.4	67.9%	70.5	40.4%	10.8	0	0
Lot 3	299.5	299.5	128.8	43.0%	0	142.8	47.7%	122.1	40.8%	48.6	0	0
<b>Total</b>	<b>751</b>	<b>751</b>	<b>322.5</b>	<b>42.9%</b>	<b>88.2</b>	<b>442</b>	<b>58.9%</b>	<b>270.6</b>	<b>36.0%</b>	<b>69.9</b>	<b>36.7</b>	<b>80.30%</b>

**TLT DESIGN LTD**

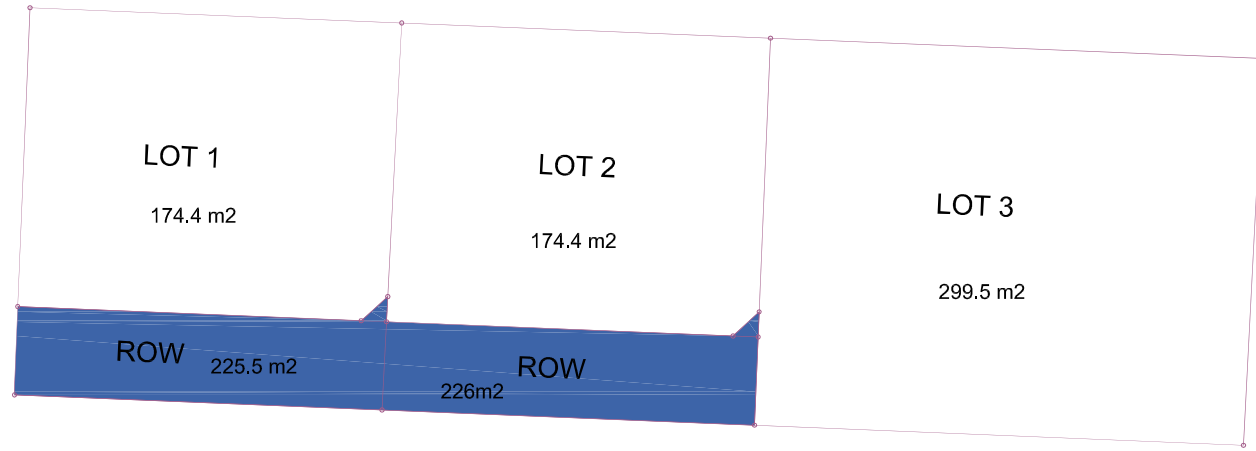
ADD: 37 PRIESTLEY DRIVE,  
BUCKLANDS BEACH, AUCKLAND  
MOBILE: 021-0361119  
E-MAIL: aucklandfly@gmail.com

Rev. No.	Date	Details	Rev. No.	Date	Details
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B	22/07/23	RC			

Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND
Drawing Title	SITE PLAN

Job No:	<b>A2089</b>	Sheet No:	<b>A-02</b>	Revision:	<b>B</b>
Date:	22/12/2020	Drawn /Designed by:	T.C.	Scale A3:	1:200
		Scale A1:			

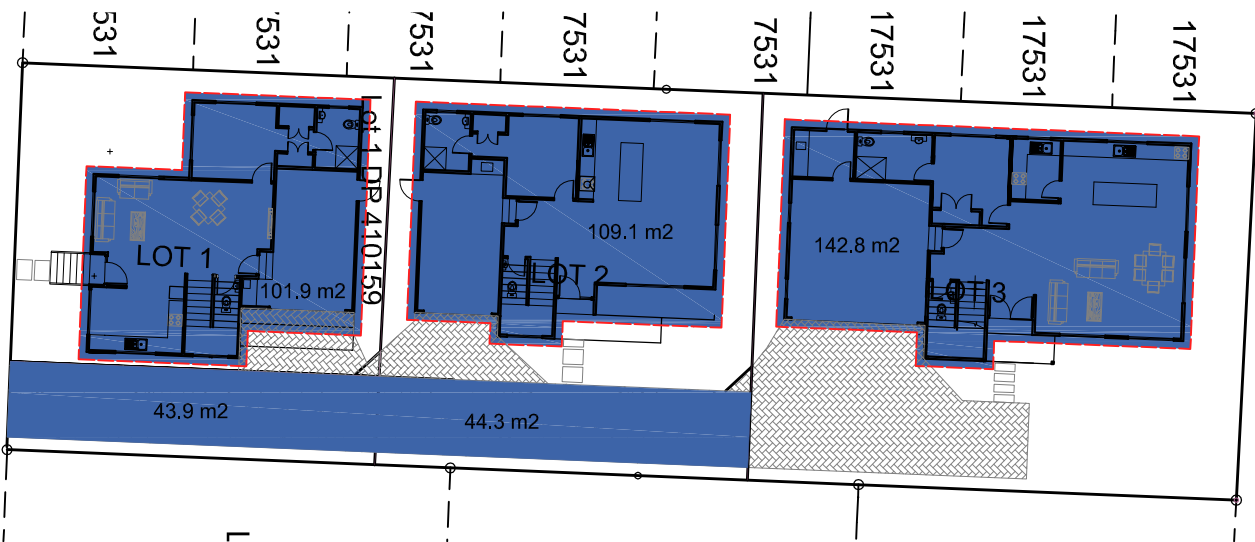
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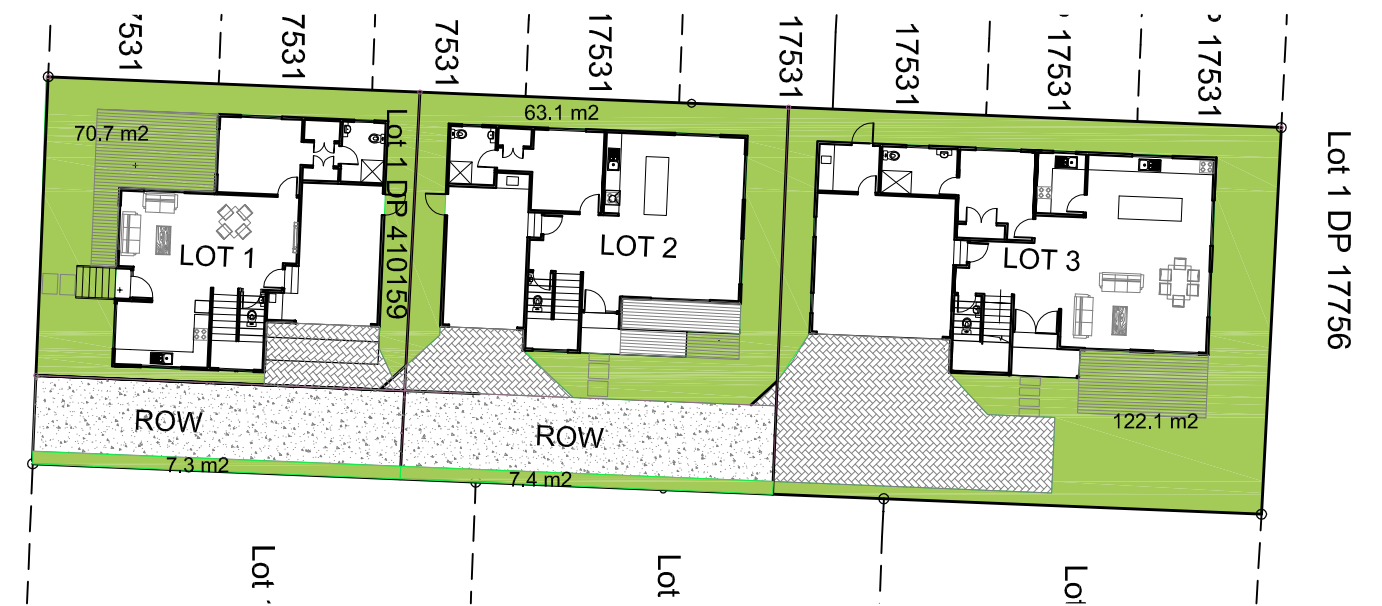
**SITE AREA**  
1:300



**BUILDING COVERAGE**  
1:300



**IMPERIOUS AREA**  
1:300



**LANDSCAPED AREA**  
1:300

	Lot 1	Lot 2	Lot 3
Soft landscaped area (m2)	58.8 (75.4%)	68.5 (97.2%)	109.4 (89.6%)
Hard landscaped area (m2)	19.2 (24.6%)	2 (2.8%)	12.7 (10.4%)
Total landscaped area (m2)	78	70.5	122.1

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



Rev. No.	Date	Details


Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND
Drawing Title	<b>SITE INFORMATION</b>


Job N°:	<b>A2089</b>	Sheet N°:	<b>A-04</b>	Revision:	<b>B</b>
Date:	22/12/2020	Scale A3:	1:300	Scale A1:	
Drawn /Designed by:	T.C.				

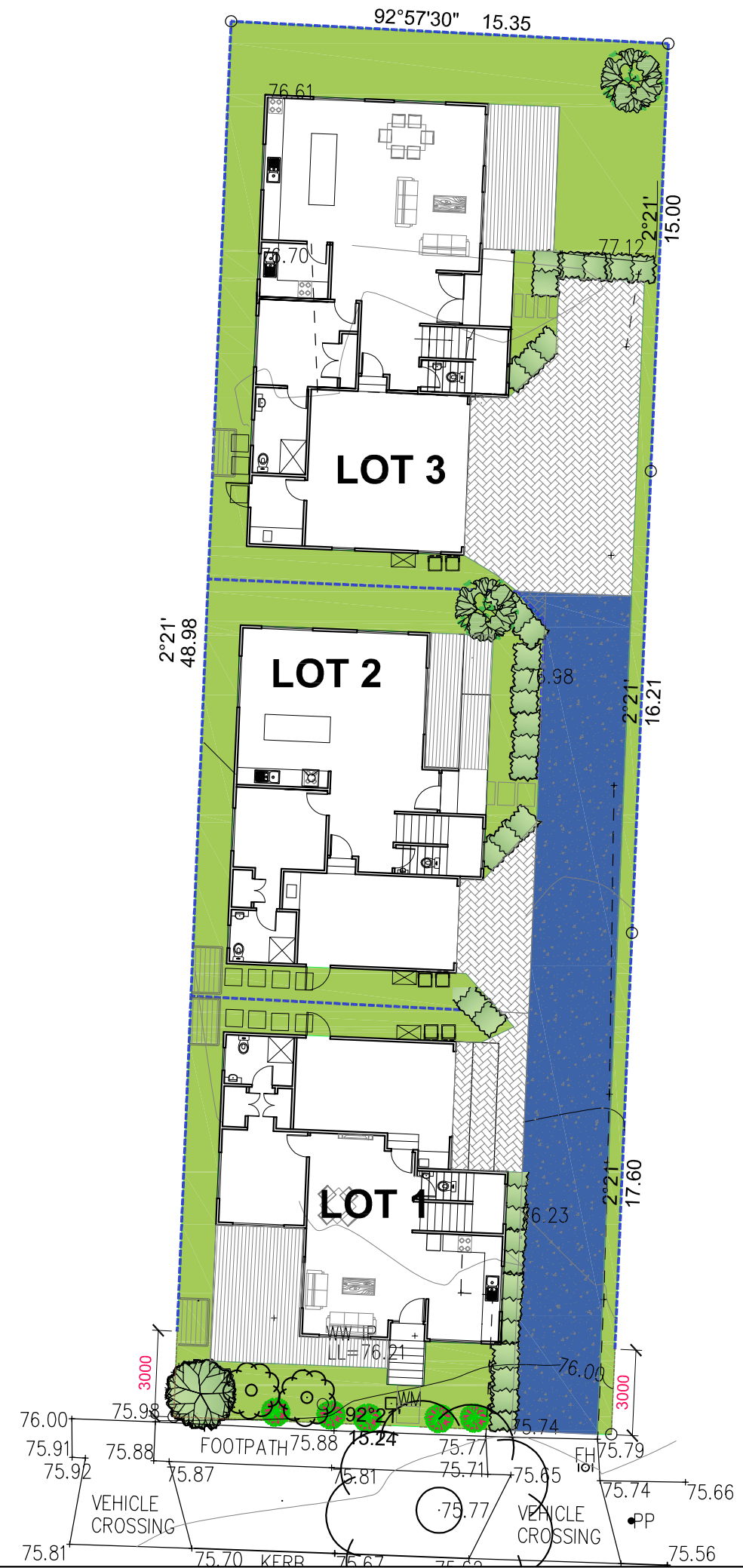
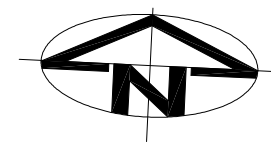
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**Key** NOTE: REFER TO PLANT PALETTE FOR SPECIES AND PLANTS SPECIFICATIONS

-  Evergreen tree (Alectryon excelsus)
-  Deciduous fruit tree (Feijoa)
-  Hedge / Nandina Gulf Stream (Ngs)
-  Hedge / Corokia Virgata (Cvl)
-  Permeable paver
-  Slatted timber deck
-  Folding Clotheslines
-  600x600 Paver on lawn
-  Gardening tools storageW (139.5cm x D 77cm x H 120cm)
-  Bins with screen
-  Letter boxes

 1.8m high slatted timber fence with 70% (aperture ratio)

 1.2m high slatted timber fence with 70% (aperture ratio)



**NOTE:**  
BEFORE COMMENCING CONSTRUCTION  
CHECK AND CONFIRM ALL DIMENSIONS  
ON SITE

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Job Title  
PROPOSED SUBDIVISION AT  
10 COLUM PLACE,  
BUCKLANDS BEACH,  
AUCKLAND

Drawing Title  
**LANDSCAPE PLAN**

Job N°: <b>A1891</b>	Sheet N°: <b>A-05</b>	Revision: <b>B</b>
Date: <b>1/12/2018</b>		
Drawn /Designed by: <b>T.C.</b>	Scale A3: <b>1:200</b>	Scale A1: 

**LANDSCAPE PLAN** 1:200



**PLANT PALETTE**



Species	Alectryon excelsus	Feijoa Tree	Nandina Gulf Stream (Ngs)	Corokia Virgata (Cvl)
Grade	PB95	PB95	PB12	PB12
Spacing	N/A	N/A	@500	@500
Size@planting	1.5m	1.5m	0.8 m	0.7m

**PAVEMENT SPECIFICATION**

- 1) All the private driveway and the bin storage ground will be paved with permeable paver;
- 2) Pavers set in lawn will be provided access to the clotheslines.
- 3) Part of the outdoor living space of each unit has a slatted timber deck,
- 4) All the common driveway (ROW) to be natural concrete.

Permeable Paver (PP)



Slatted timber deck (SD)



Pavers Set in Lawn(PSL)



**FENCING SPECIFICATION**

Lower Timber batten Fence (LBF) (with 70% aperture ratio )

Proposed LBF height within the 3m front yard is 1.2m respectively.



Timber Slatted Fence (TSF) (with 70% aperture ratio)

Proposed TSF height at external boundaries (except the front yard ) and internal boundaries are 1.8m respectively.



**PLANTING STRATEGY**

A landscape buffer which comprises a mix of tree (Alectryon excelsus ) , shrubs ( Nandina Gulf Stream & Corokia Virgata) and grass are provided along the southern street boundary to soft the edge of the development.

**IRRIGATION**

During installation and establishment, the soil in all planting areas moisture shall be retained to ensure active plant growth throughout the growing season ( September - May) . To achieve a high level of site presentation or in areas of annual bedding display planting, irrigation systems may be required to achieve this. Where an irrigation system is required to be installed, 'Toro' brand or a similar approved brand shall be used. The system shall be capable of providing a minimum soil moisture level of 50% to 200mm depth, throughout the planted areas or within the dripline of trees specified. It shall be capable of fully re-wetting the root zone to 200mm depth when the irrigation is applied; and shall be fully automated to operate between 1:00am and 6:00am when moisture levels drop below 50%.

**MAINTENANCE PROGRAMME**

- 1) The planting defects liability period shall be 12 months from works clearance upon release of any implementation bond held for uncompleted landscaping. If planting is carried out between October 1 and April 1, the Defects Liability period shall be extended for an additional 6 months.
- 2) All replacement plants that have been installed due to plant failure shall have successfully established for at least three months prior to the final defects check otherwise the defects period will be extend by at least three months. Should more than 25% of the originally installed planting fail during the defects period, the plants shall be replaced and the defects period for the whole planting area shall extend by a minimum six months.

NOTE:  
BEFORE COMMENCING CONSTRUCTION CHECK AND CONFIRM ALL DIMENSIONS ON SITE

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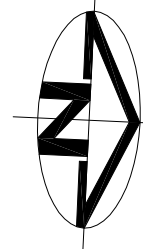
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BUCKLANDS BEACH ,  
AUCKLAND

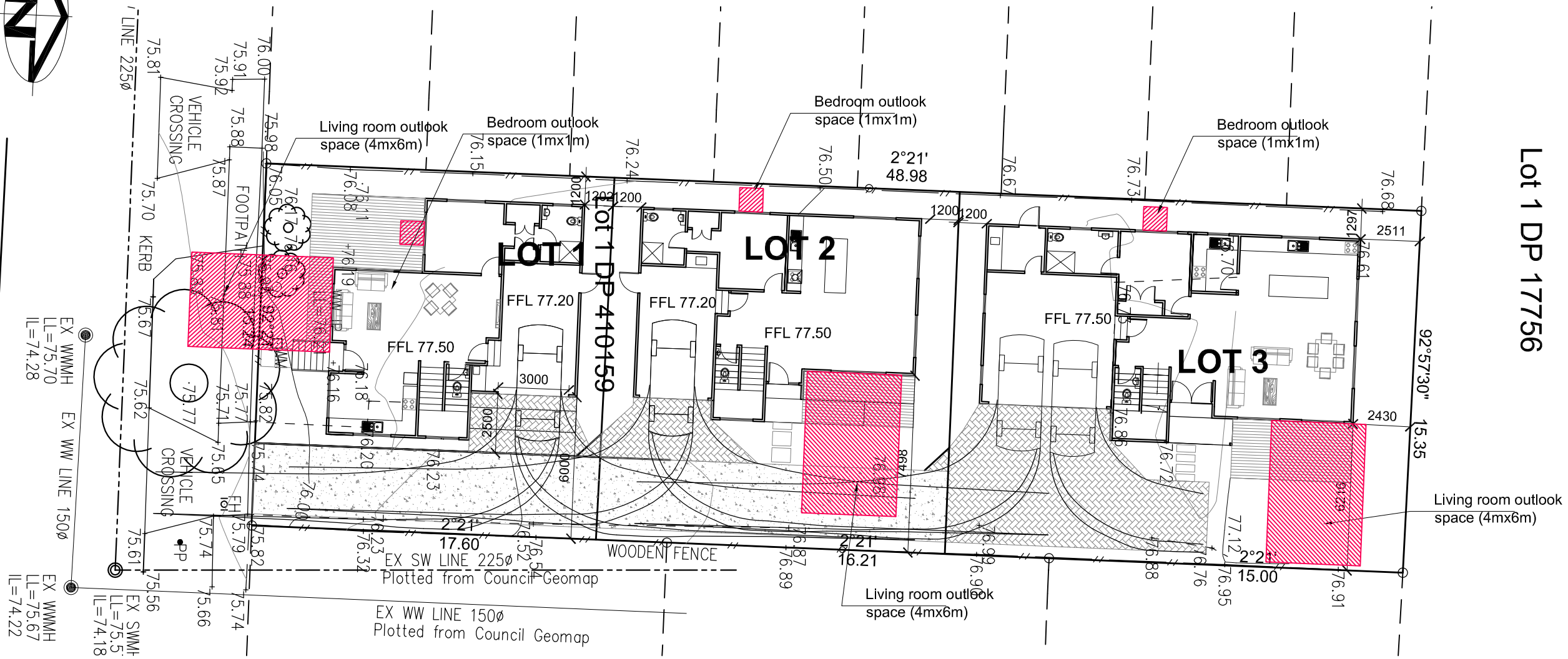
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**LANDSCAPE PALETTE**

Job N°: <b>A1891</b>	Sheet N°: <b>A-05a</b>	Revision: <b>B</b>
Date: <b>1/12/2018</b>		
Drawn /Designed by: <b>T.C.</b>	Scale A3: <b>1:200</b>	Scale A1: 



HALIFAX AVENUE

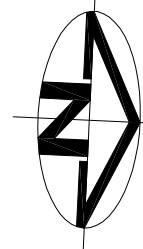
Lot 1 DP 17756



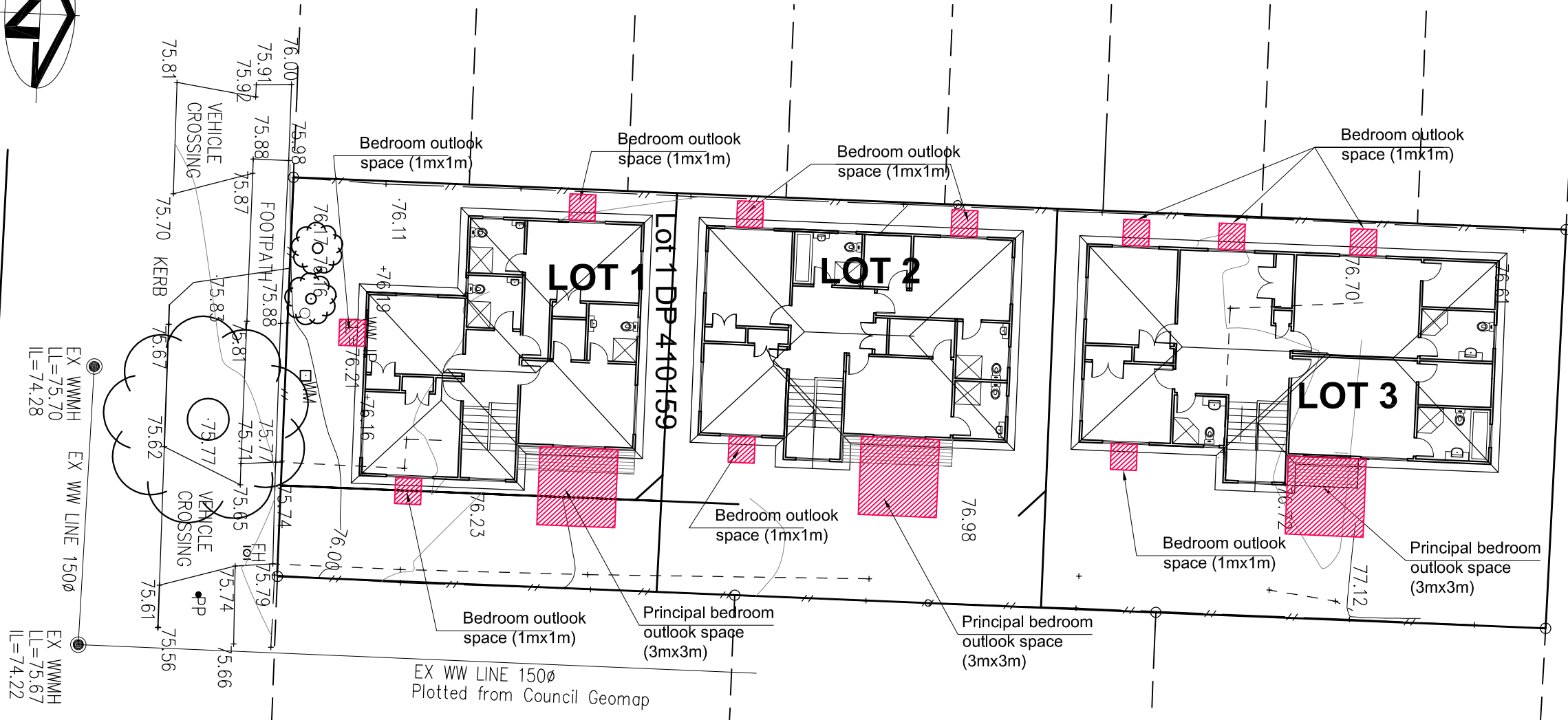
**GROUND FLOOR OUTLOOK SPACE**  
1:200

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	A	18/03/23	Resource Consent					Date: 22/12/2020	Drawing Title <b>GROUND FLOOR OUTLOOK SPACE</b>	Drawn /Designed by: T.C.

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HALIFAX AVENUE



Lot 1 DP 17756

**FIRST FLOOR OUTLOOK SPACE**

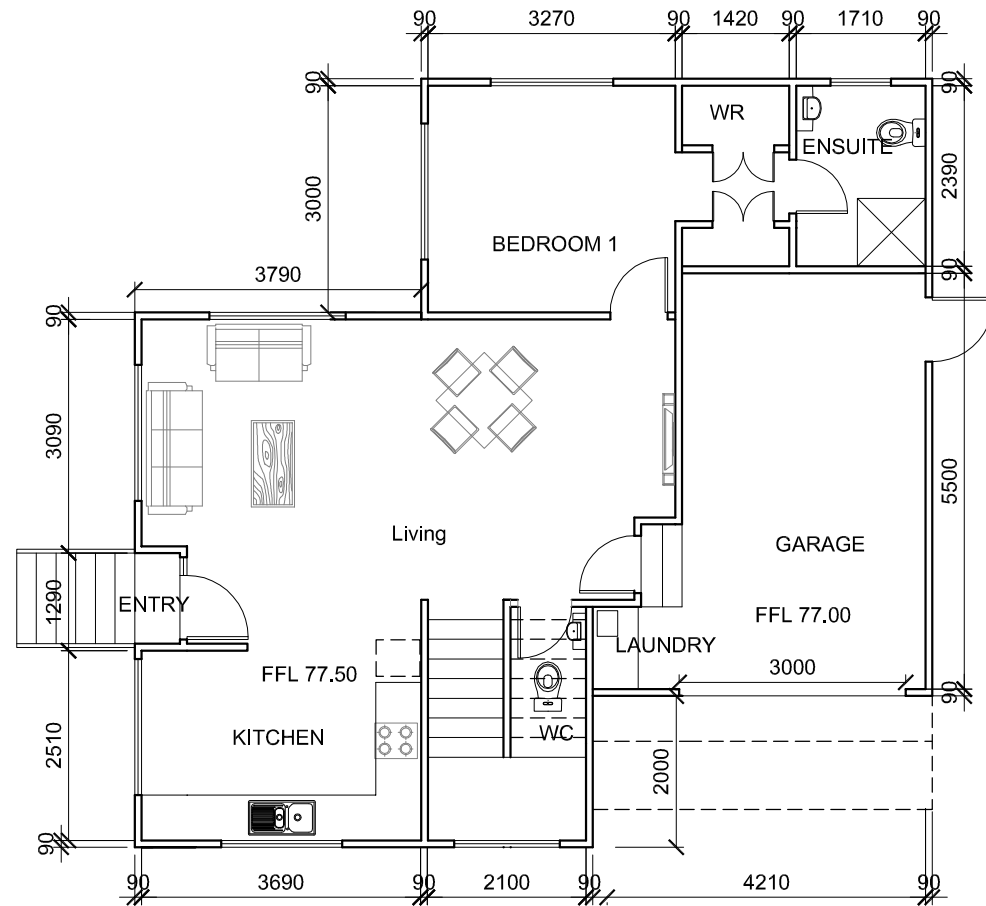
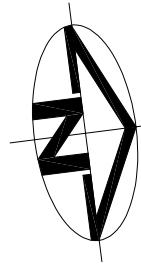
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Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND	Job No: <b>A2089</b>	Sheet No: <b>A-07</b>	Revision: <b>A</b>
Drawing Title	<b>FIRST FLOOR OUTLOOK SPACE</b>	Date: 22/12/2020	Drawn /Designed by: T.C.	Scale A1: 1:200

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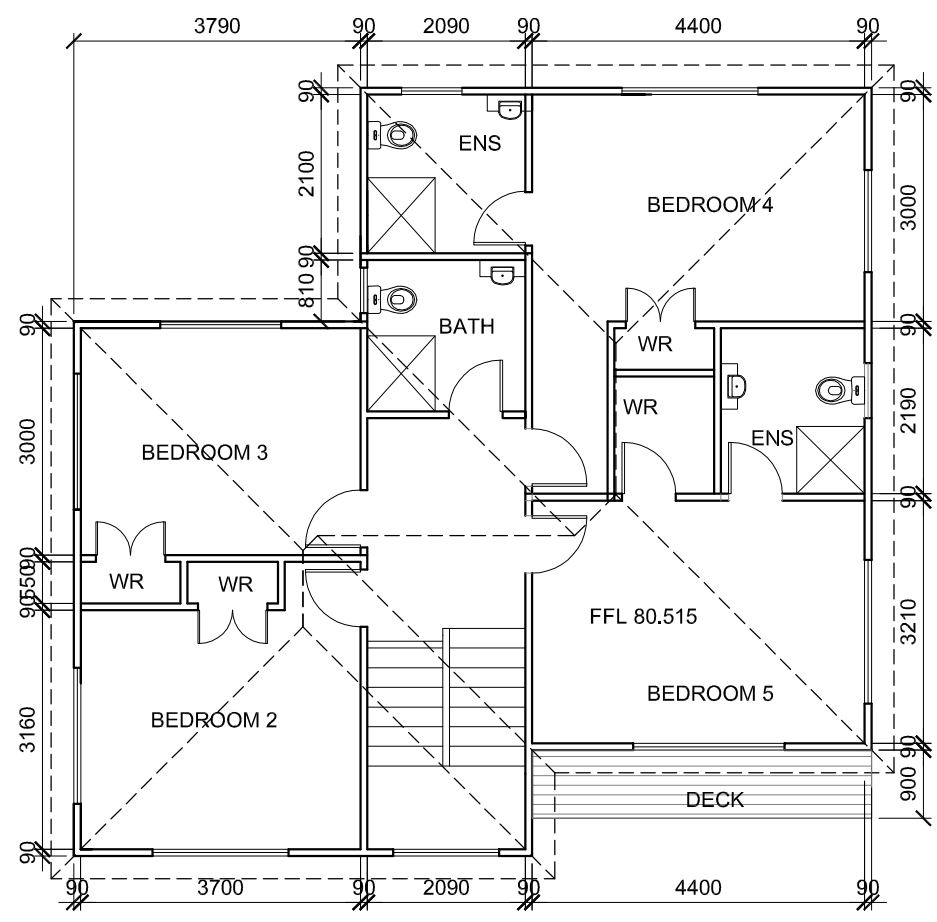
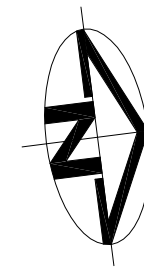
**GROUND FLOOR PLAN**

1:100

COVER AREA =94.1m2

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	A	18/03/23	Resource Consent				PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND	<b>A2089</b> Date: 22/12/2020	A-11	A
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							LOT 1 - GROUND FLOOR PLAN	T.C.	1:100	





**FIRST FLOOR PLAN**

1:100

FLOOR AREA = 89.2 m<sup>2</sup>  
DECK AREA = 4.0 m<sup>2</sup>

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Rev. No.	Date	Details
A	18/06/20	Resource Consent

Rev. No.	Date	Details

Job Title  
**PROPOSED SUBDIVISION AT  
10 ROTHWELL RD  
SUNNY HILLS , AUCKLAND**

Job N°: <b>A2006</b>	Sheet N°: <b>A-12</b>	Revision: <b>A</b>
Date: <b>22/05/2020</b>		

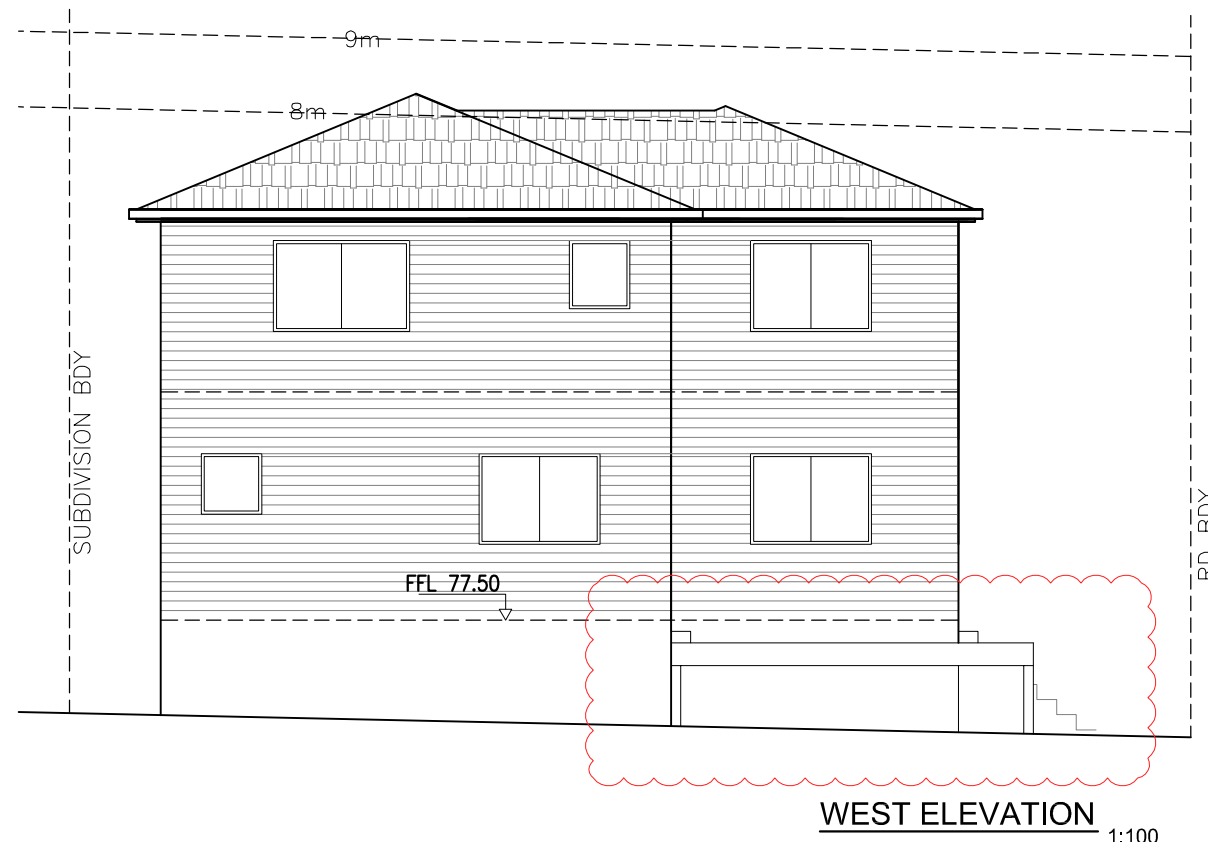
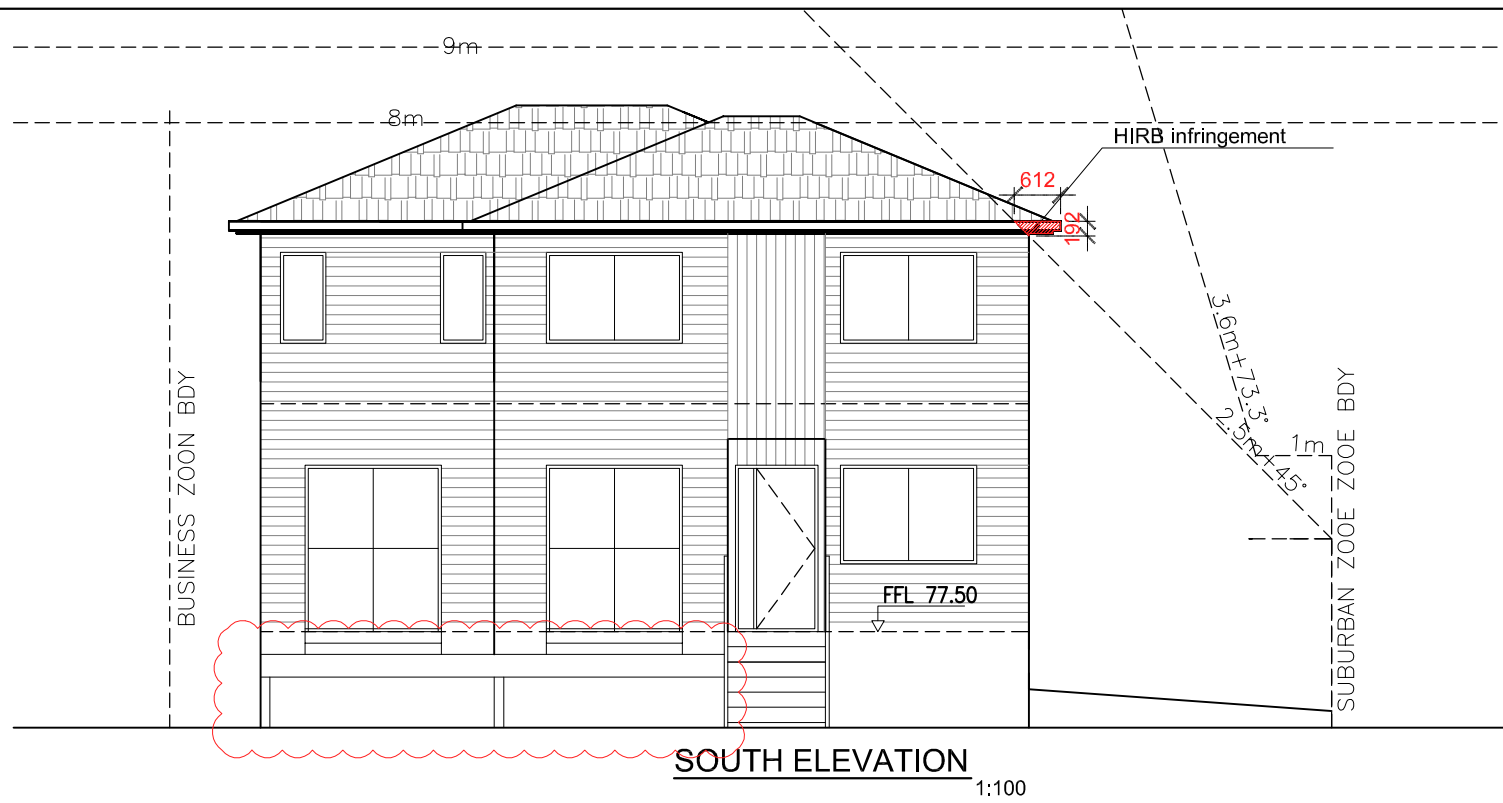
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Drawing Title  
**LOT 1 - FIRST FLOOR  
PLAN**

Drawn /Designed by: <b>T.C.</b>	Scale A3: <b>1:100</b>	Scale A1: <b> </b>
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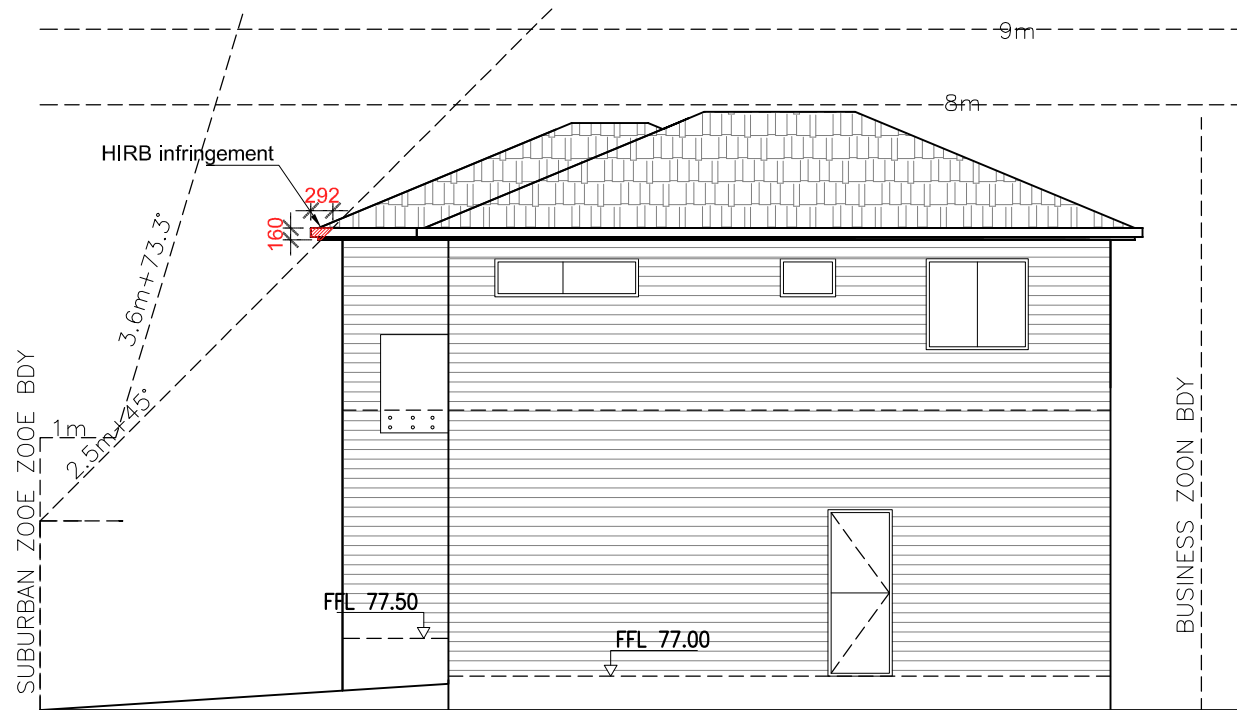
Rev. No.	Date	Details
A	18/03/23	Resource Consent
B	22/07/23	RC
C	9/08/23	RC

Rev. No.	Date	Details

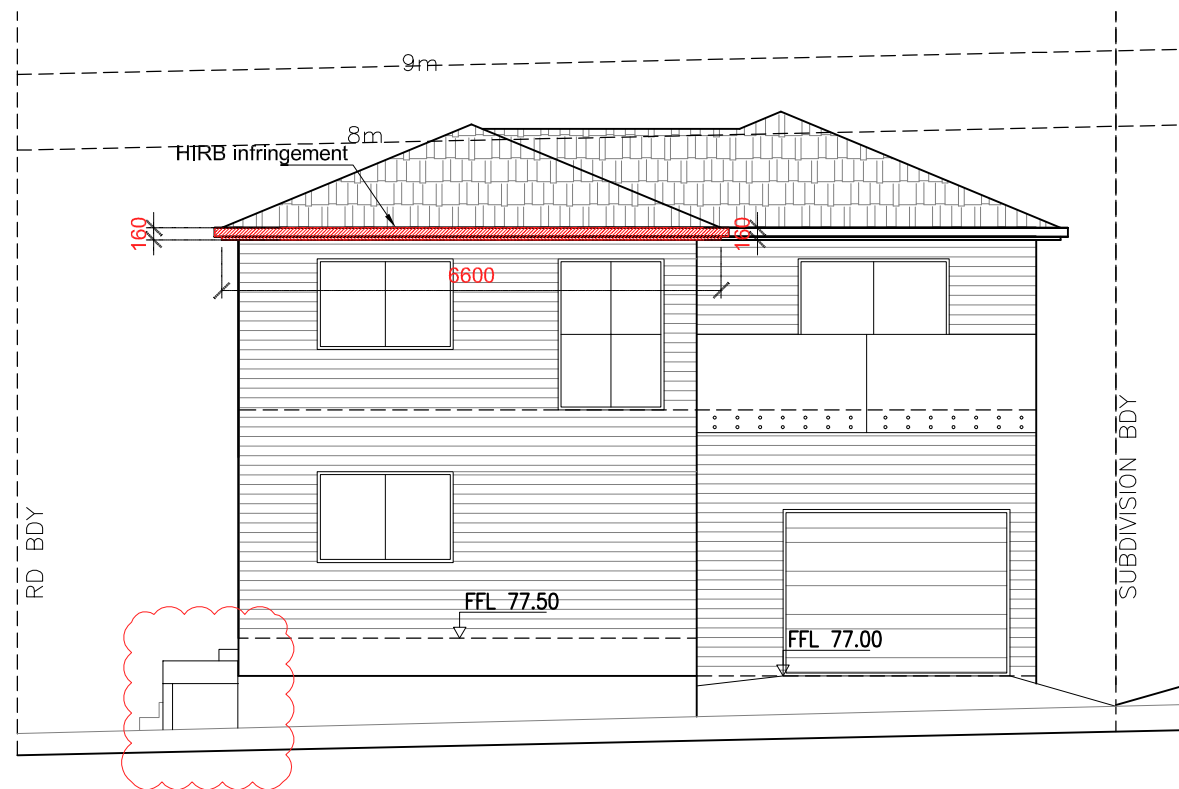
Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND
Drawing Title	LOT 1 - ELEVATIONS

Job N°:	<b>A2089</b>	Sheet N°:	<b>A-14</b>	Revision:	<b>C</b>
Date:	22/12/2020	Drawn /Designed by:	T.C.	Scale A3:	1:100
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**NORTH ELEVATION**  
1:100



**EAST ELEVATION**  
1:100

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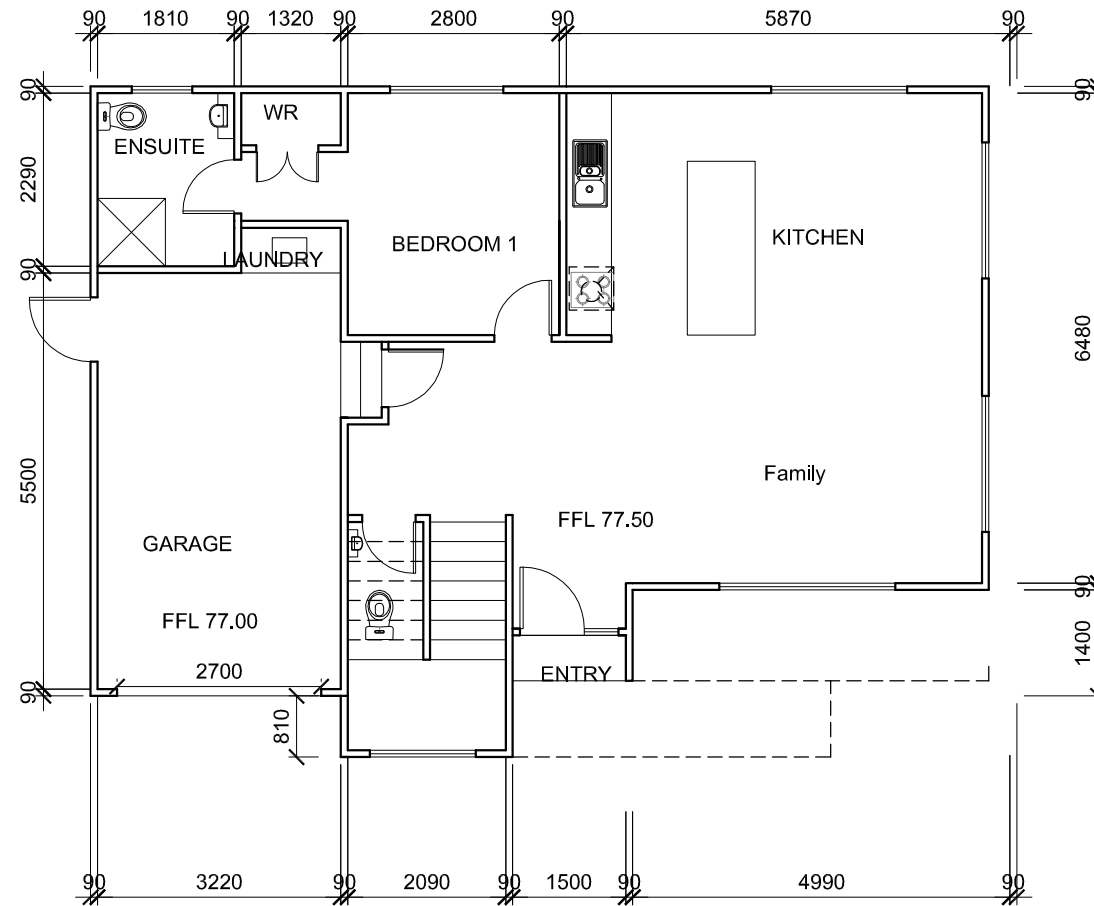
Rev. No.	Date	Details
A	18/03/23	Resource Consent
B	22/07/23	RC
C	9/08/23	RC

Rev. No.	Date	Details

Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND
Drawing Title	LOT 1 - ELEVATIONS

Job N°:	<b>A2089</b>	Sheet N°:	<b>A-15</b>	Revision:	<b>C</b>
Date:	22/12/2020	Drawn /Designed by:	T.C.	Scale A3:	1:100
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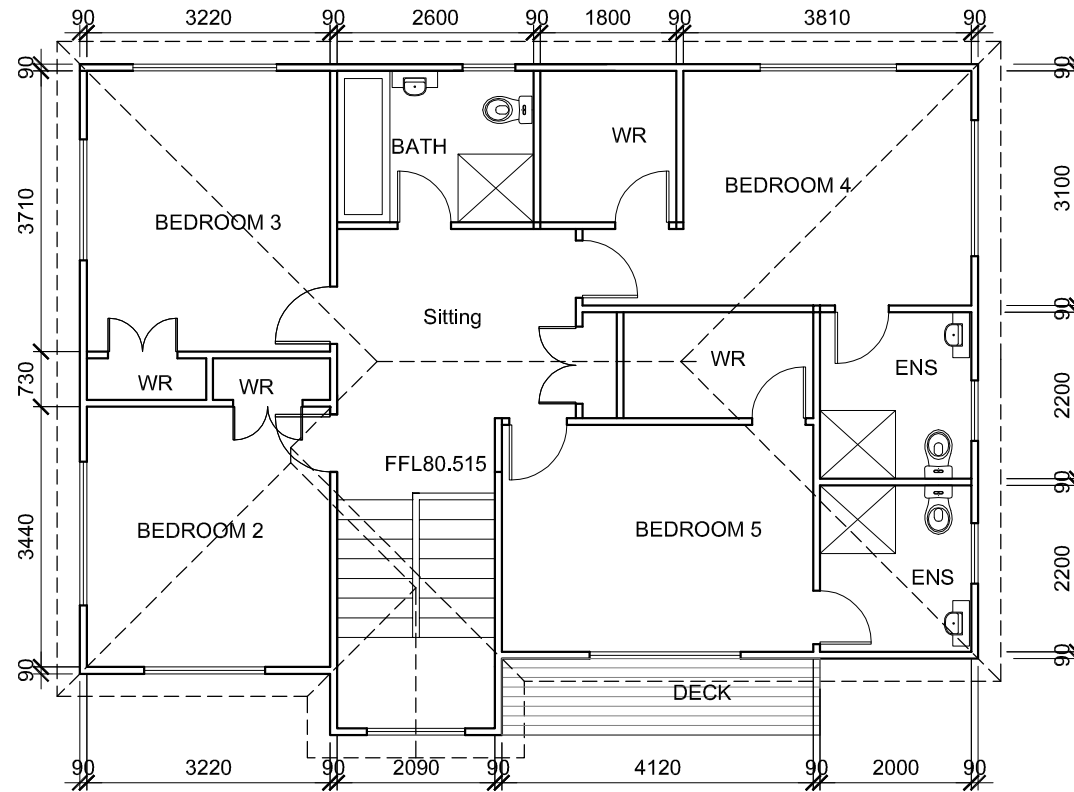
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**GROUND FLOOR PLAN**  
1:100

COVER AREA = 100.5 m2

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	A	18/03/23	Resource Consent					A2089 Date: 22/12/2020	A-21	A
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								T.C.	1:100	



**FIRST FLOOR PLAN**

1:100

FLOOR AREA = 96.3 m<sup>2</sup>  
DECK AREA = 4.2 m<sup>2</sup>

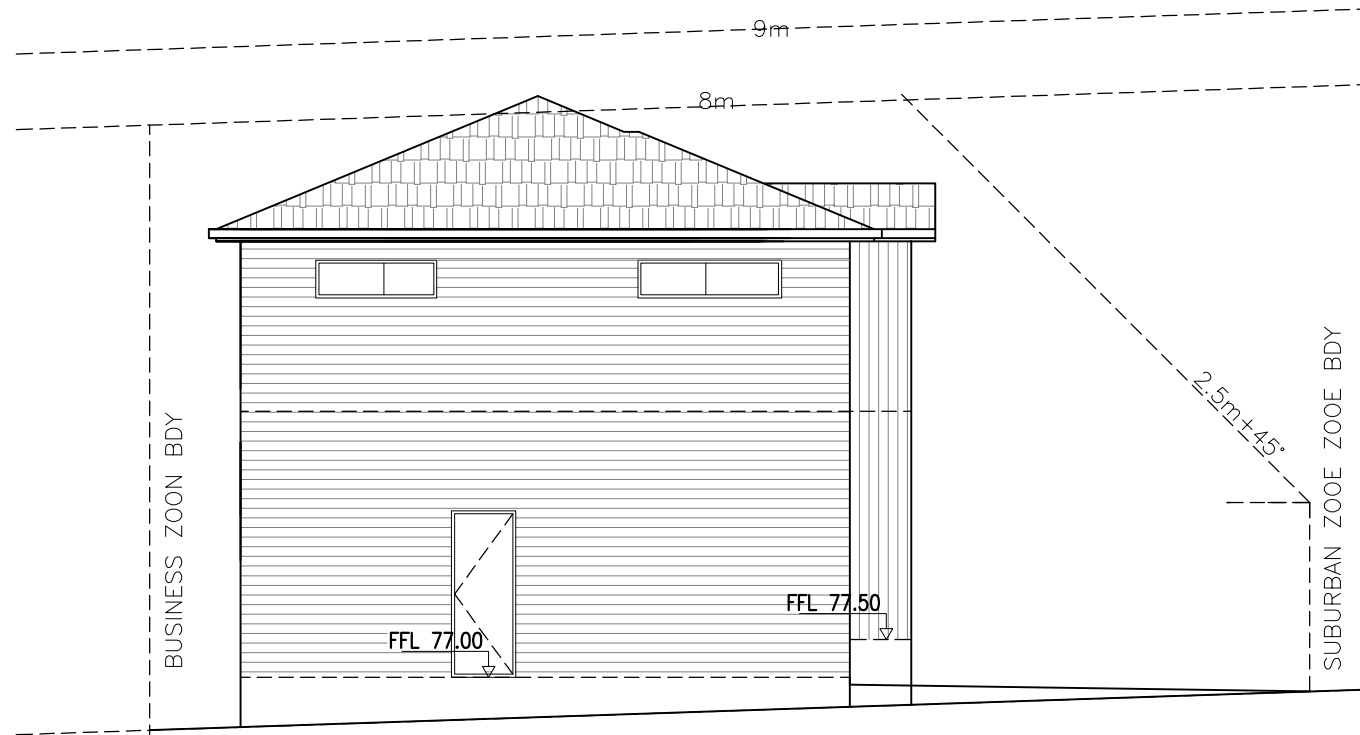
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Rev. No.	Date	Details

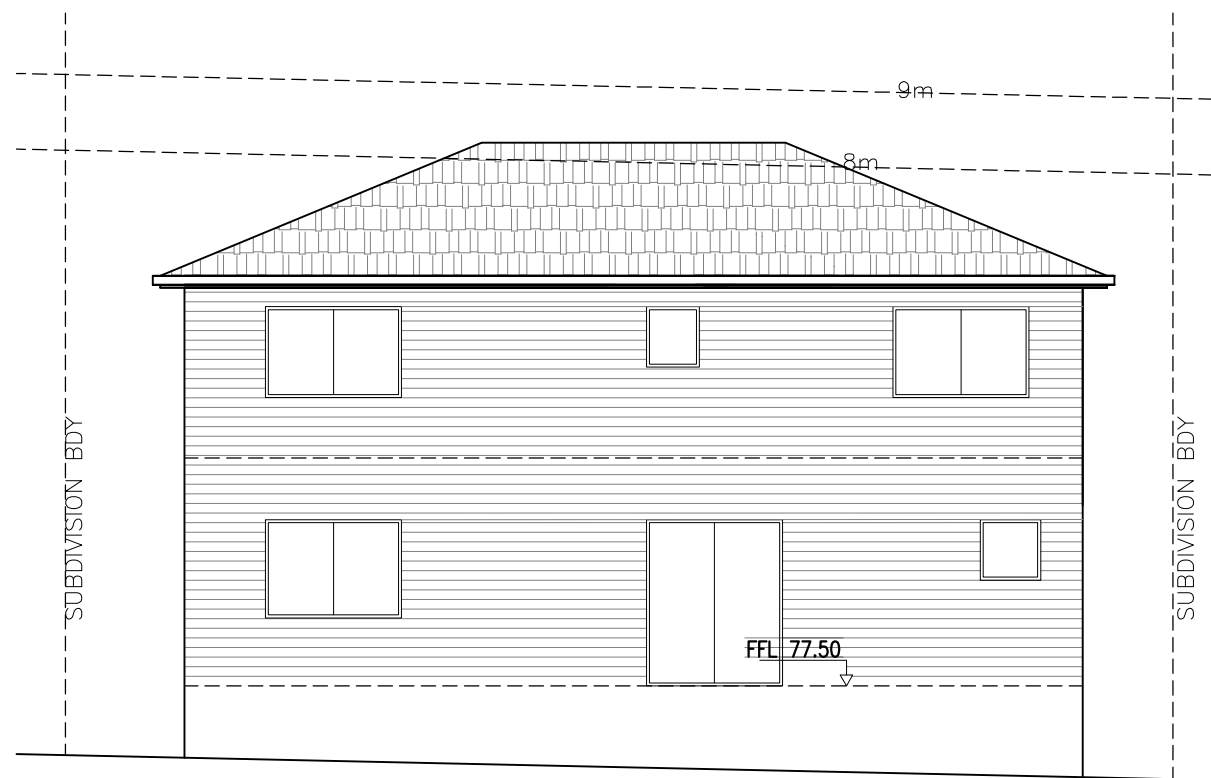
Job Title	PROPOSED SUBDIVISION AT 10 ROTHWELL RD SUNNY HILLS, AUCKLAND
Drawing Title	LOT 2 - FIRST FLOOR PLAN

Job N°:	<b>A2006</b>	Sheet N°:	<b>A-22</b>	Revision:	<b>A</b>
Date:	22/05/2020	Drawn /Designed by:	T.C.	Scale A3:	1:100
Scale A1:					



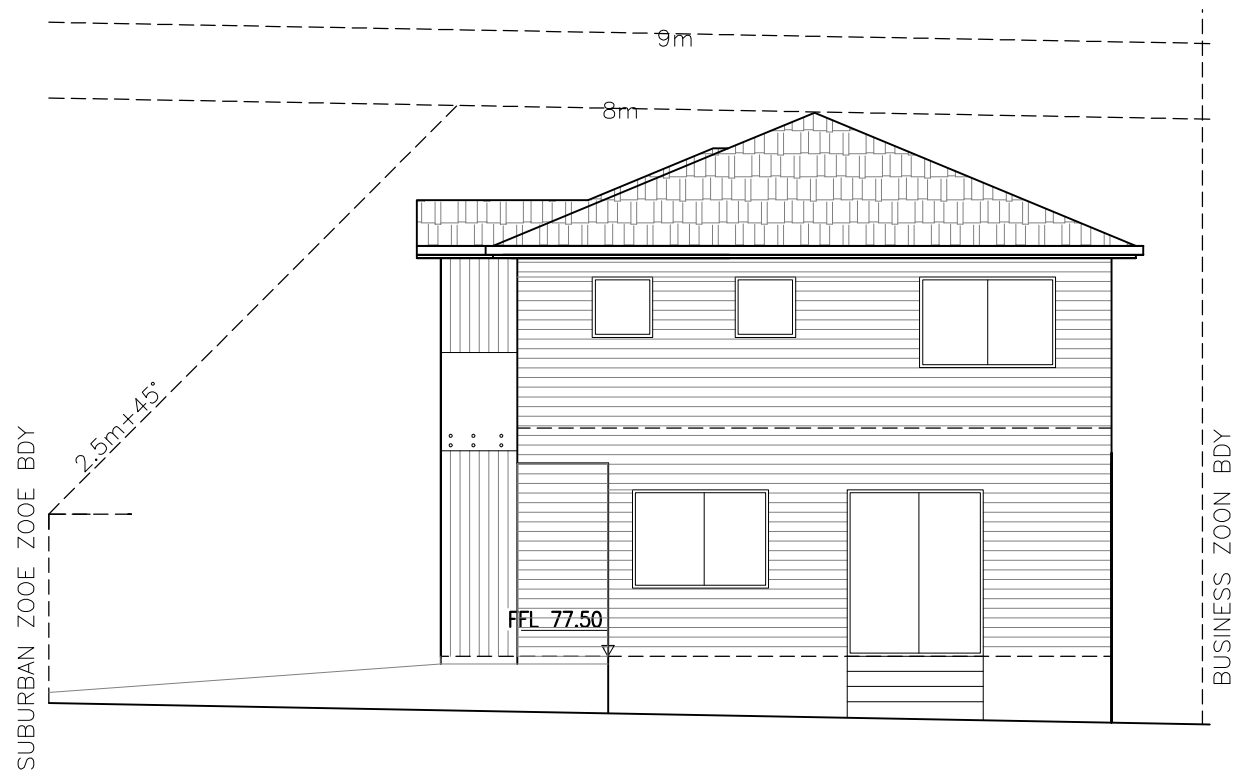


**SOUTH ELEVATION**  
1:100

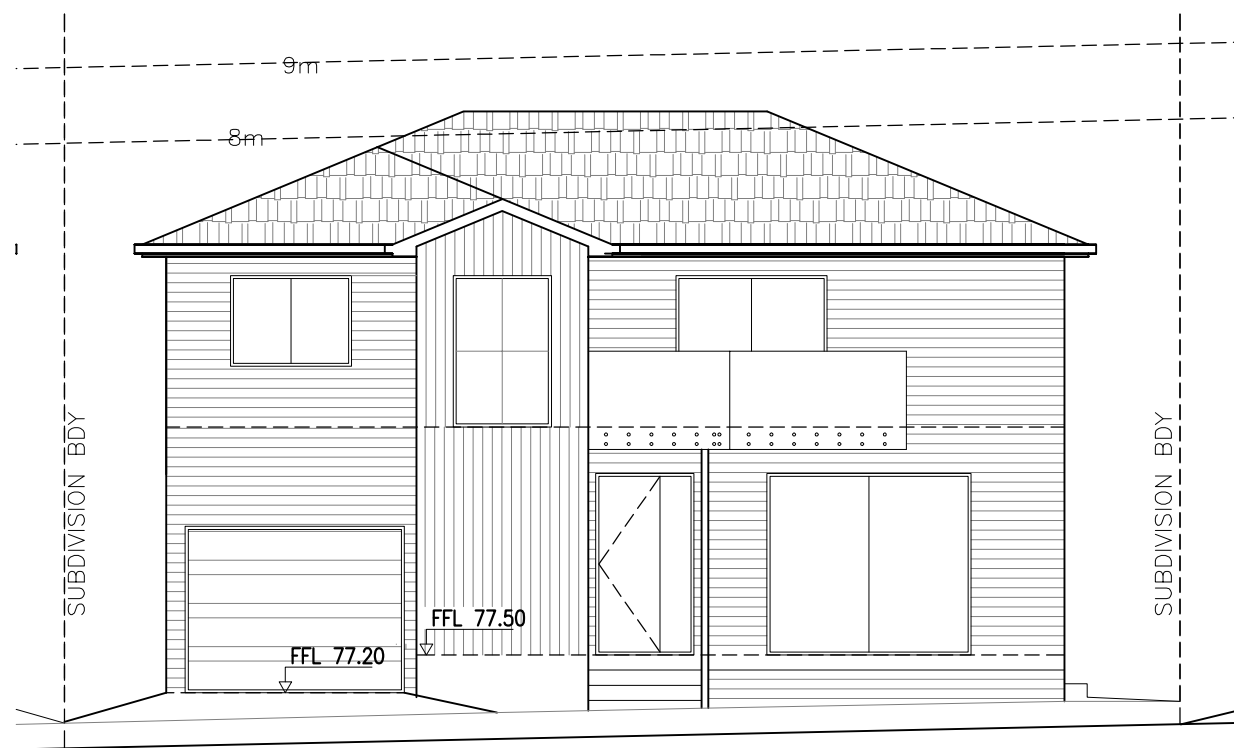


**WEST ELEVATION**  
1:100

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							<b>LOT 2 - ELEVATIONS</b>	22/12/2020	T.C.	1:100	



**NORTH ELEVATION**  
1:100



**EAST ELEVATION**  
1:100

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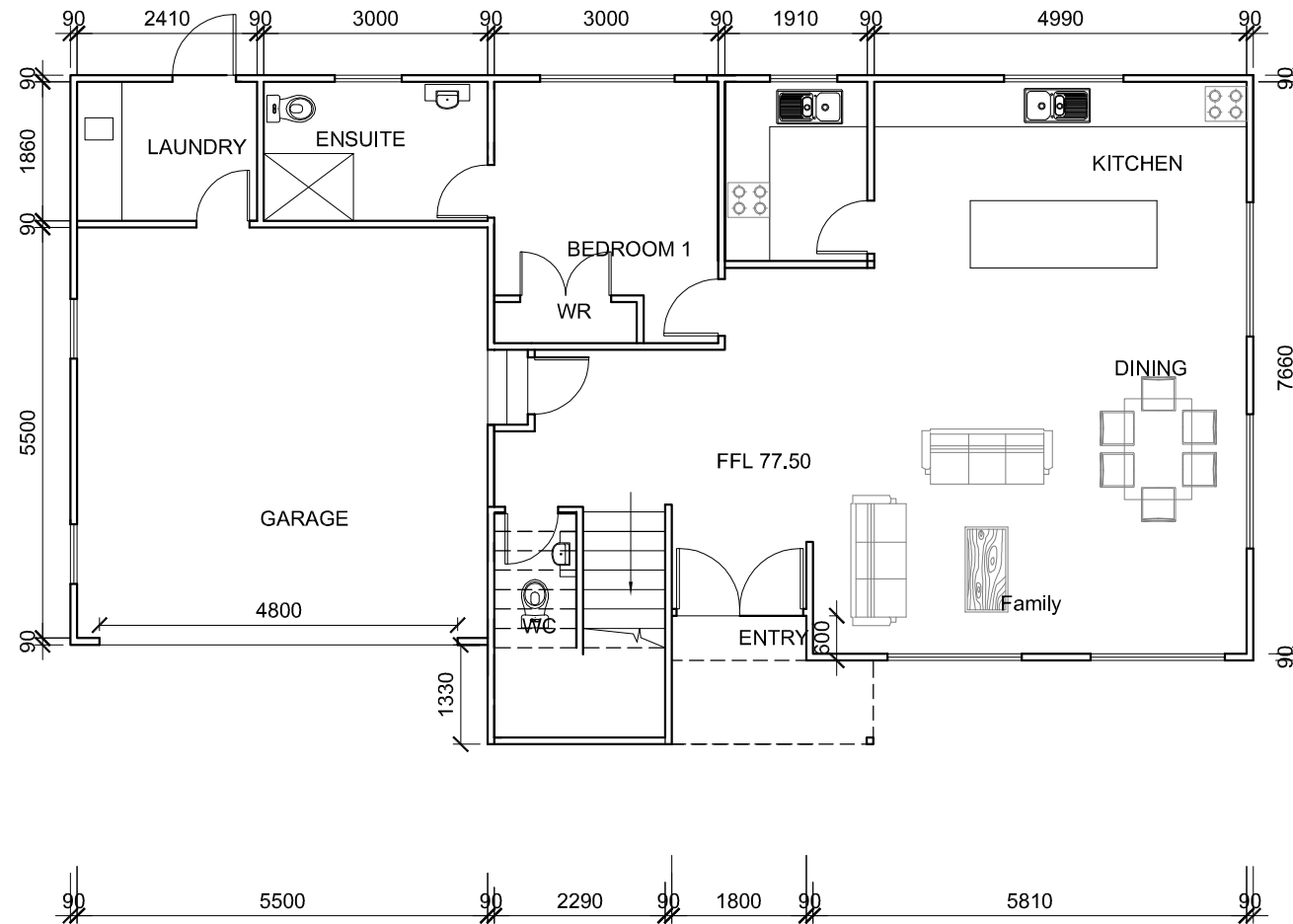
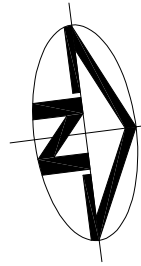
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B	22/07/23	RC

Rev. No.	Date	Details

Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND
Drawing Title	LOT 2 - ELEVATIONS

Job N°:	<b>A2089</b>	Sheet N°:	<b>A-25</b>	Revision:	<b>B</b>
Date:	22/12/2020	Drawn /Designed by:	T.C.	Scale A3:	1:100
		Scale A1:			

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**GROUND FLOOR PLAN**

1:100

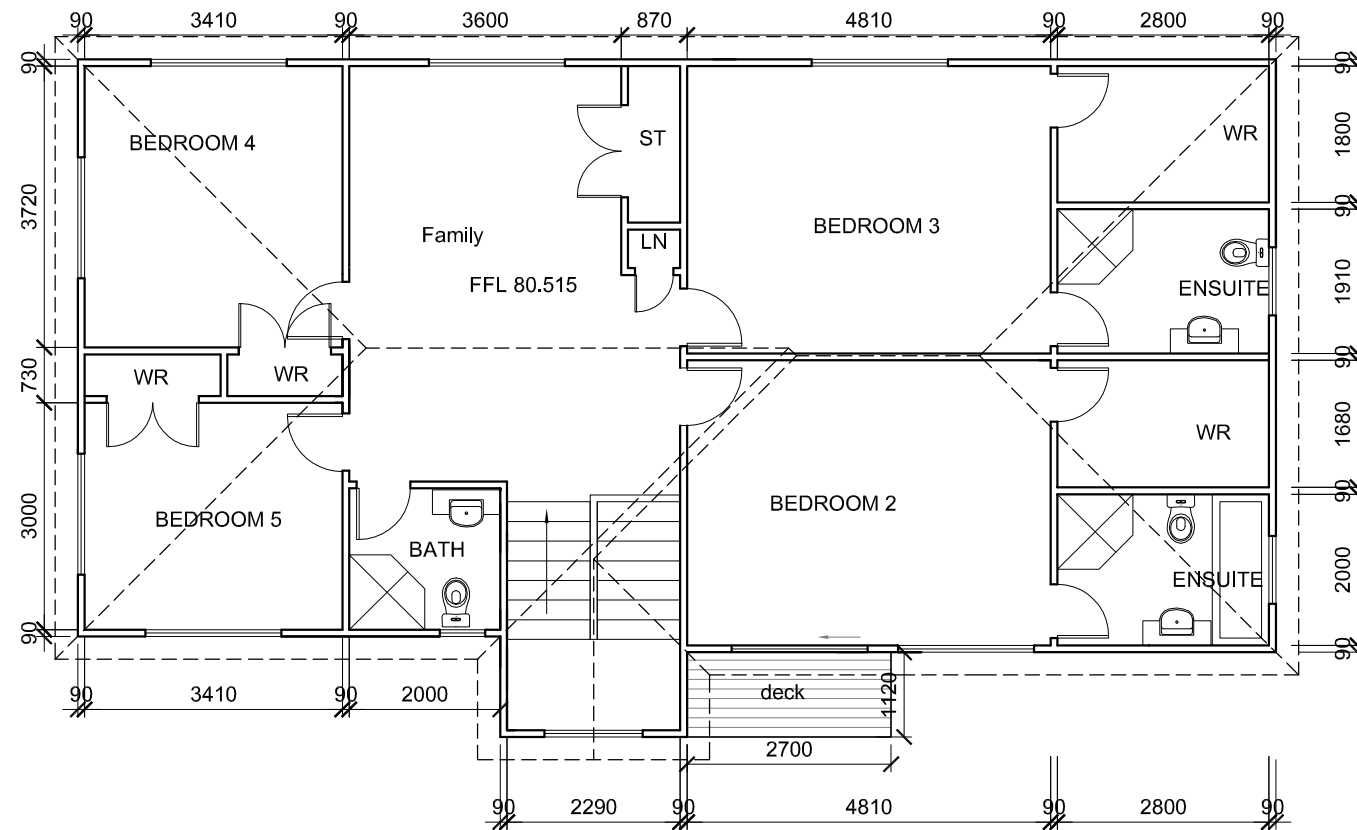
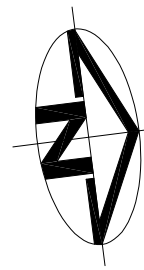
COVER AREA =128.8m2

**TLT DESIGN LTD**  
 ADD: 37 PRIESTLEY DRIVE,  
 BUCKLANDS BEACH, AUCKLAND  
 MOBILE: 021-0361119  
 E-MAIL: aucklandfly@gmail.com

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Rev. No.	Date	Details	Rev. No.	Date	Details
A	18/03/23	Resource Consent			

Job Title	PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND	Job N°: <b>A2089</b>	Sheet N°: <b>A-31</b>	Revision: <b>A</b>
Drawing Title	<b>LOT 3 - GROUND FLOOR PLAN</b>	Date: 22/12/2020	Drawn /Designed by: <b>T.C.</b>	Scale A3: 1:100
			Scale A1:	



**FIRST FLOOR PLAN**

1:100

FLOOR AREA = 125.8m<sup>2</sup>  
DECK AREA = 3m<sup>2</sup>

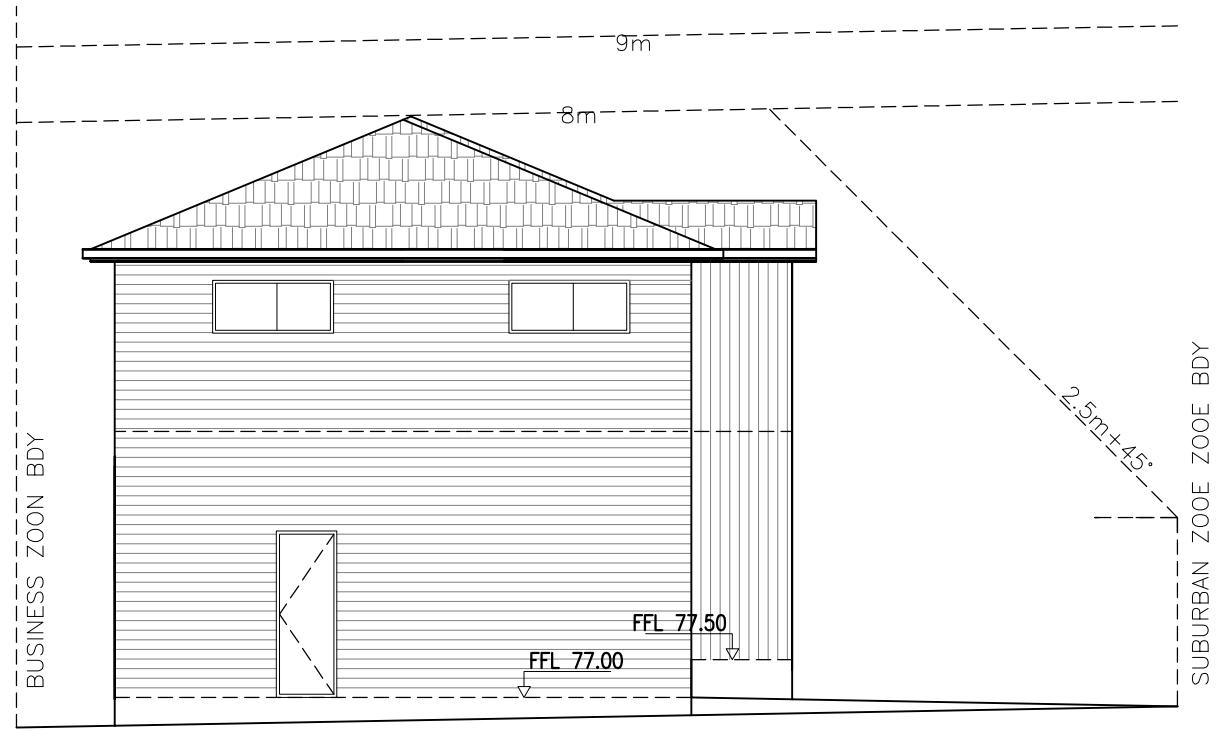
**TLT DESIGN LTD**  
ADD: 37 PRIESTLEY DRIVE,  
BUCKLANDS BEACH, AUCKLAND  
MOBILE: 021-0361119  
E-MAIL: aucklandfly@gmail.com

Rev. No.	Date	Details	Rev. No.	Date	Details
A	18/06/20	Resource Consent			

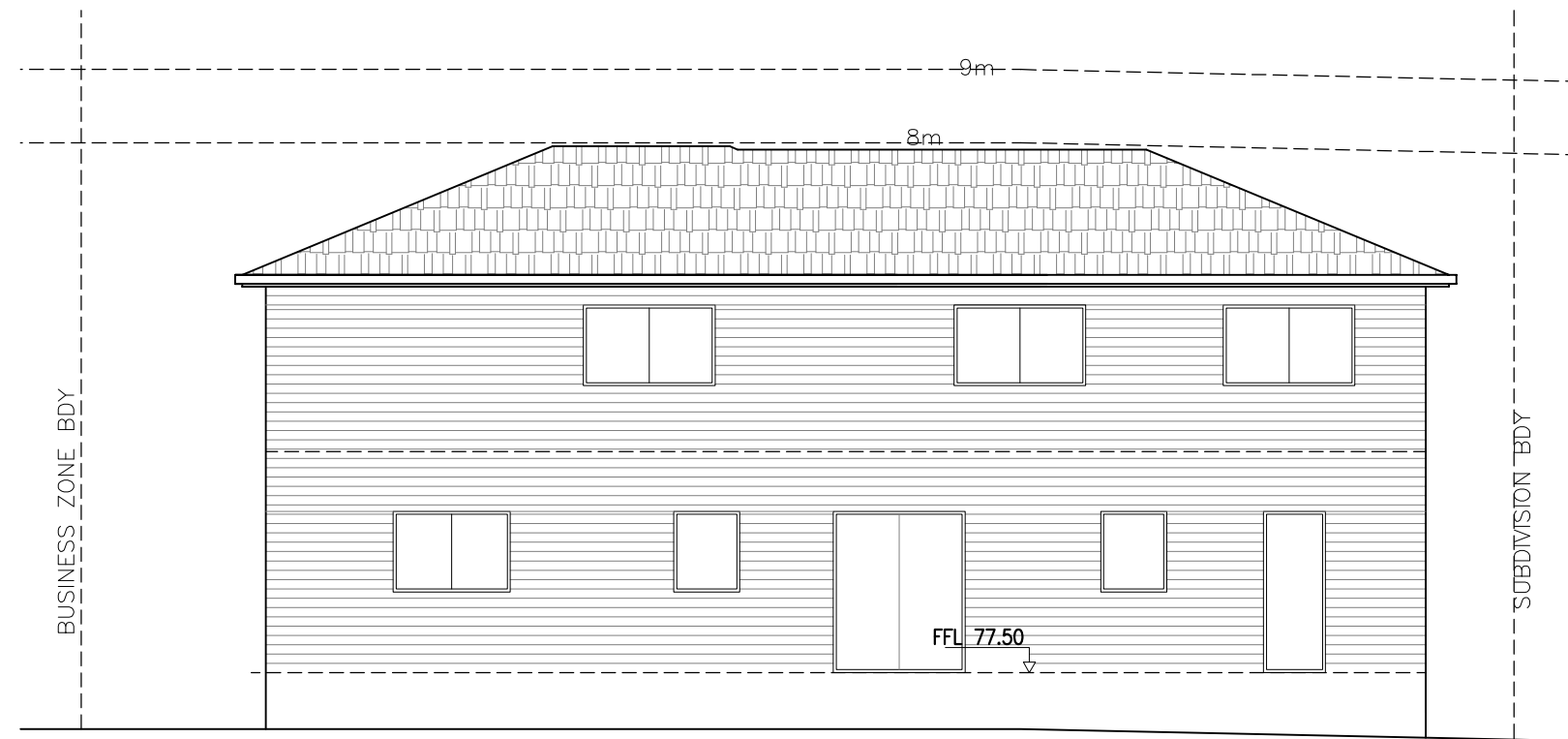
Job Title	PROPOSED SUBDIVISION AT 10 ROTHWELL RD SUNNY HILLS, AUCKLAND	Job N°: <b>A2006</b>	Sheet N°: <b>A-32</b>	Revision: <b>A</b>
Drawing Title	<b>LOT 3 - FIRST FLOOR PLAN</b>	Date: 22/05/2020	Drawn /Designed by: <b>T.C.</b>	Scale A1: 1:100

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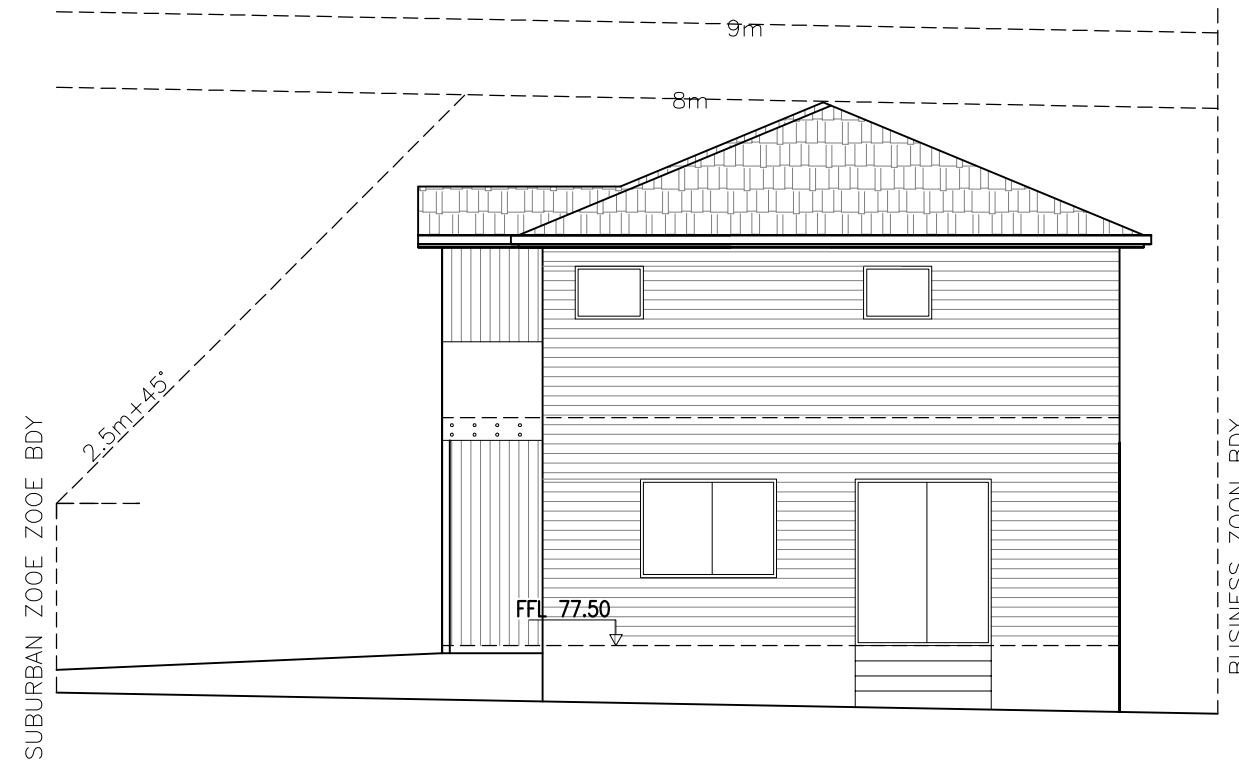


**SOUTH ELEVATION**  
1:100

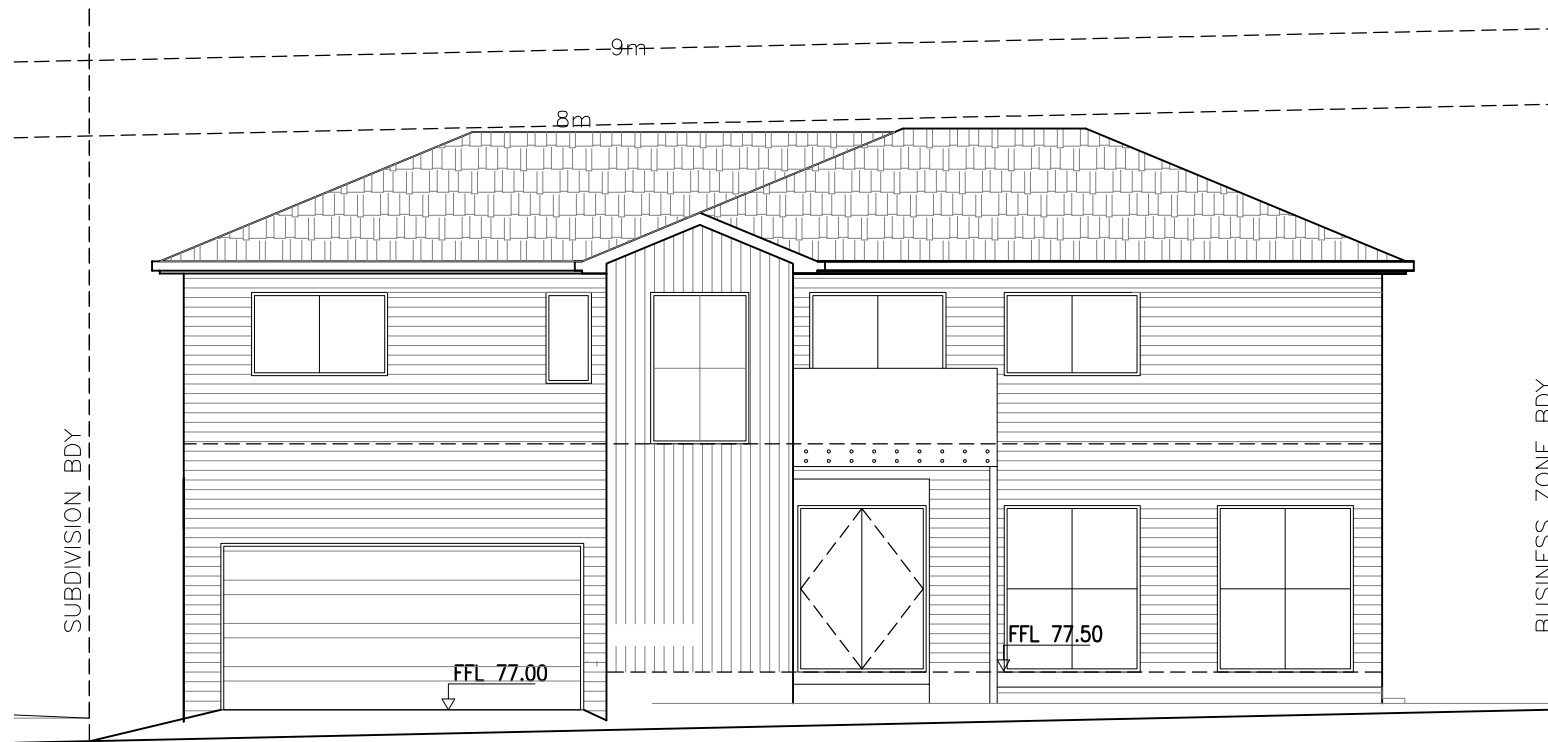


**WEST ELEVATION**  
1:100

<b>TLT DESIGN LTD</b> ADD: 37 PRIESTLEY DRIVE, BUCKLANDS BEACH, AUCKLAND MOBILE: 021-0361119 E-MAIL: aucklandfly@gmail.com	Rev. No.	Date	Details	Rev. No.	Date	Details	Job Title PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND	Job N°: <b>A2089</b>	Sheet N°: <b>A-34</b>	Revision: <b>B</b>
	A	18/03/23	Resource Consent					Date: 22/12/2020		
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**NORTH ELEVATION**  
1:100



**EAST ELEVATION**  
1:100

<b>TLT DESIGN LTD</b> ADD: 37 PRIESTLEY DRIVE, BUCKLANDS BEACH, AUCKLAND MOBILE: 021-0361119 E-MAIL: aucklandfly@gmail.com	Rev. No.	Date	Details	Rev. No.	Date	Details	Job Title	Job N°:	Sheet N°:	Revision:	
	A	18/03/23	Resource Consent				PROPOSED SUBDIVISION AT 2 HALIFAX AVE, EPSOM, AUCKLAND	<b>A2089</b>	<b>A-35</b>	<b>B</b>	
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							<b>LOT 3 - ELEVATIONS</b>	<b>22/12/2020</b>	<b>T.C.</b>	<b>1:100</b>	




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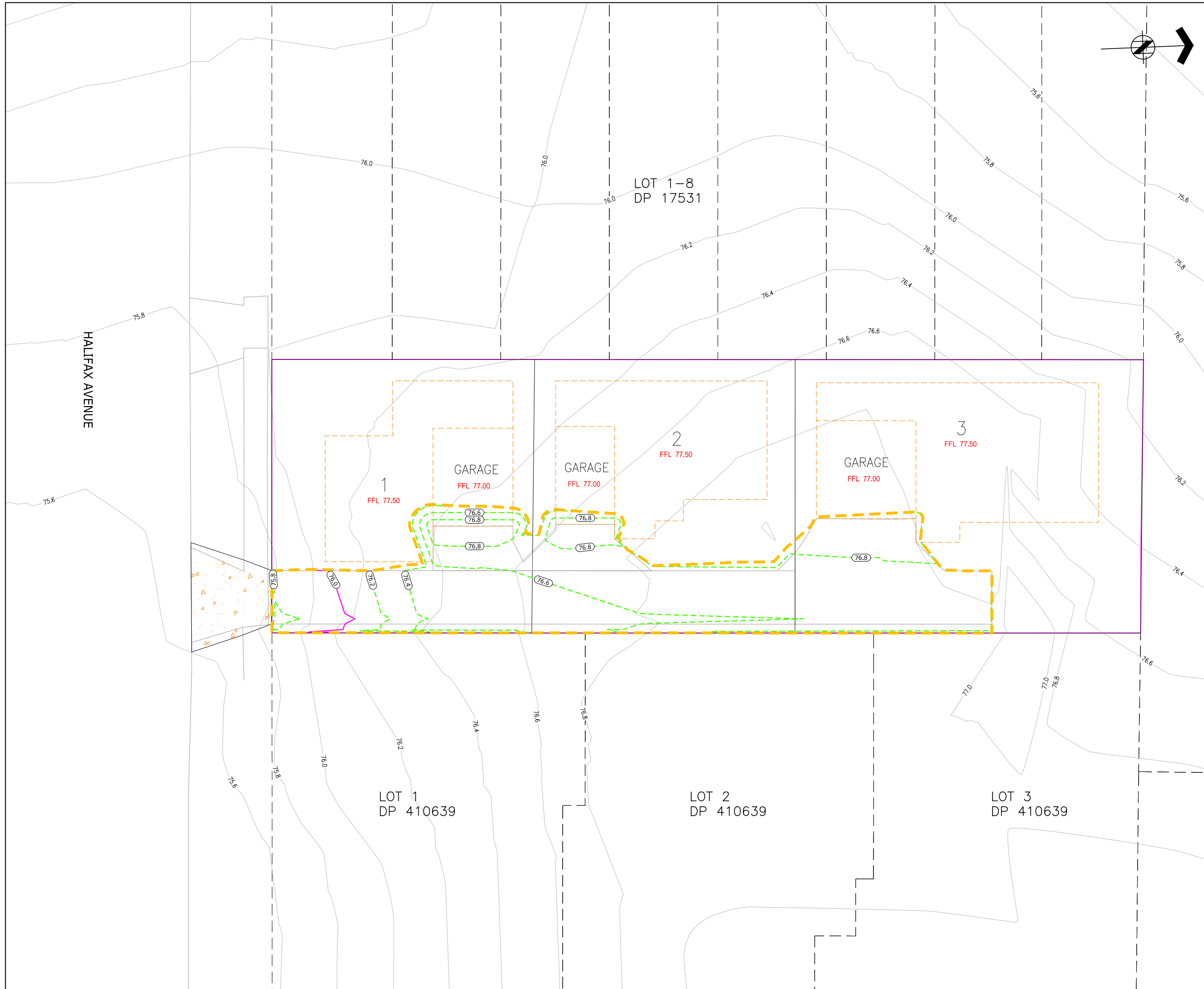


**NOTES:**

1. ALL WORKS AND MATERIALS ARE TO COMPLY WITH AUCKLAND COUNCIL ENGINEERING STANDARDS .
2. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED, AS-BUILT AND INSPECTED BY THE ENGINEER / COUNCIL REPRESENTATIVE PRIOR TO COMMENCING THE EARTHWORKS ON THE SITE.
3. PROPOSED CONTOURS SHOWN ARE FINISHED GROUND LEVELS AT 0.1m INTERVAL.

**LEGEND:**

-  FINISHED SURFACE SHOWN AT 0.2m INTERVALS
-  EXISTING CONTOURS SHOWN AT 0.2m INTERVALS
-  EARTHWORKS BOUNDARY
-  BUILDING PLATFORM




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 TEL +64 21 267 0466  
 EMAIL [simon@eighty6.co.nz](mailto:simon@eighty6.co.nz)

REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:  
**2 HALIFAX AVENUE  
 EPSOM**

DESCRIPTION:  
**EARTHWORKS PLAN  
 FINISH CONTOURS**

DESIGNED: JW	DATE: 05.04.23	SIGNATURE:	PLOT BY: JW
DRAWN: JW	DATE: 05.04.23	SIGNATURE:	PLOT DATE:
CHECKED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY BY:
APPROVED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY DATE:

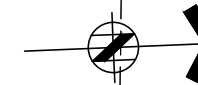
ISSUE STATUS: **CONSENT ISSUE**

PROJECT No: FP210b	SCALES: 1:100-A1 1:200-A3	REV: <b>A</b>
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DRAWING No:  
**FP210b-20**

REFER TO APPROVED MASTER DRAWINGS FOR ORIGINAL SIGNATURES File: PPDATA\LOCAL\AUTODESK\C3D 2023\ENU\TEMPLATE Z:\EIGHTY6 WIP\21FP210(B)\_2 HALIFAX AVE, EPSOM (TERRY TLT)\01 CAD\E.DWG

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**NOTES:**

1. ALL WORKS AND MATERIALS ARE TO COMPLY WITH AUCKLAND COUNCIL ENGINEERING STANDARDS .
2. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED, AS-BUILT AND INSPECTED BY THE ENGINEER / COUNCIL REPRESENTATIVE PRIOR TO COMMENCING THE EARTHWORKS ON THE SITE.

EARTHWORKS DETAILS - UNADJUSTED:  
(NO ALLOWANCE FOR COMPACTION FACTOR/TOPSOIL STRIPPING & ACCESSWAY PAVEMENT CUTTING)

EARTHWORKS AREA: 209m<sup>2</sup>  
CUT: 23m<sup>3</sup>  
FILL: 10m<sup>3</sup>  
NET (CUT): 13m<sup>3</sup>

**LEGEND:**

- CUT CONTOURS SHOWN AT -0.2m INTERVALS
- FILL CONTOURS SHOWN AT 0.2m INTERVALS
- EARTHWORKS BOUNDARY



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REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:  
**2 HALIFAX AVENUE  
EPSOM**

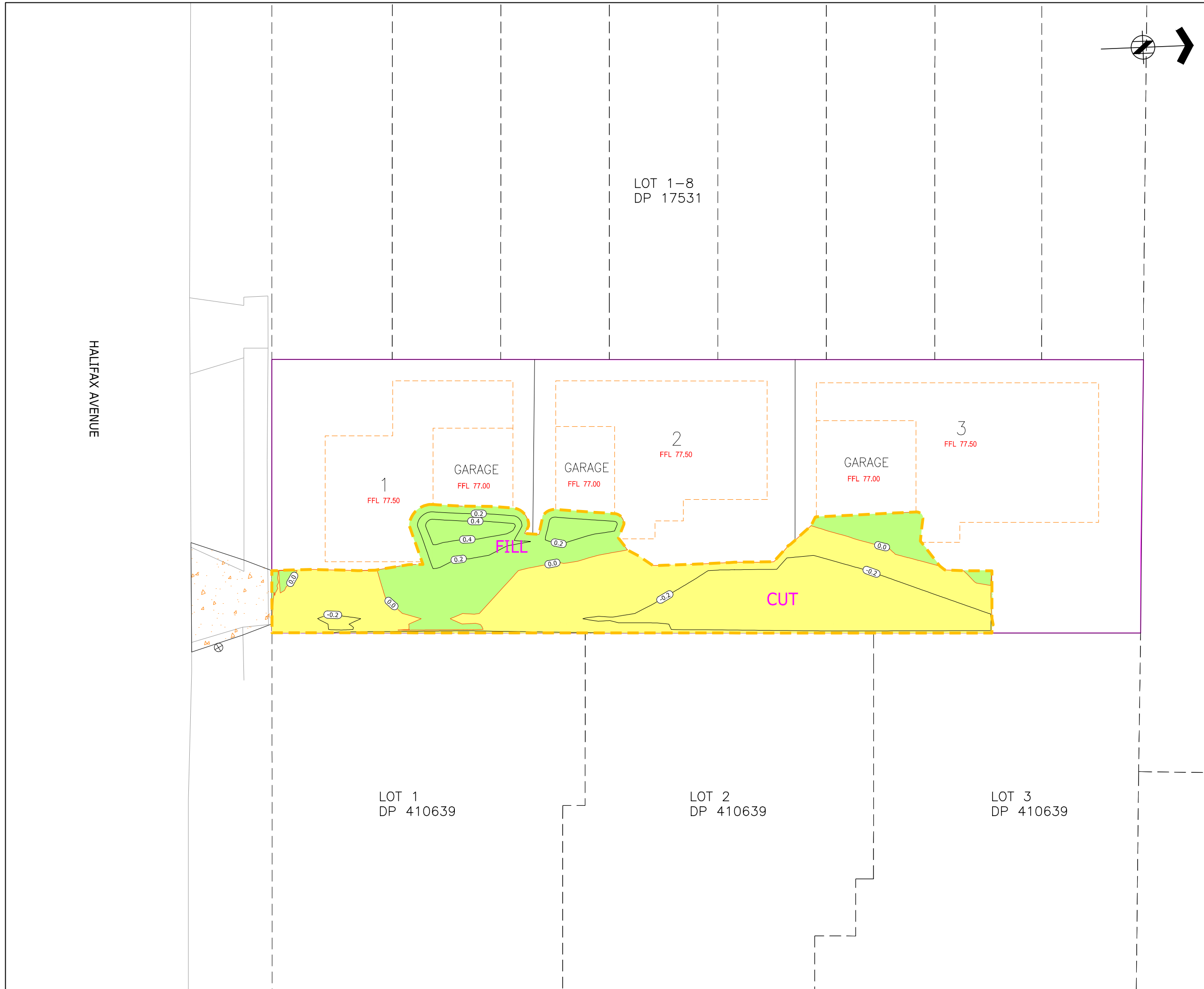
DESCRIPTION:  
**EARTHWORKS PLAN  
CUT FILL**

DESIGNED: JW	DATE: 05.04.23	SIGNATURE:	PLOT BY: JW
DRAWN: JW	DATE: 05.04.23	SIGNATURE:	PLOT DATE:
CHECKED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY BY:
APPROVED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY DATE:

ISSUE STATUS: **CONSENT ISSUE**

PROJECT No: FP210b	SCALES: 1:100-A1 1:200-A3	REV: <b>A</b>
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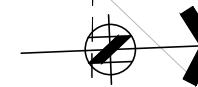
DRAWING No:  
**FP210b-21**



REFER TO APPROVED MASTER DRAWINGS FOR ORIGINAL SIGNATURES File: PPDATA\LOCAL\AUTODESK\C3D 2023\ENU\TEMPLATE Z:\EIGHTY6 WIP\21FP210(B)\_2 HALIFAX AVE, EPSOM (TERRY TLT)\01 CAD\E.DWG

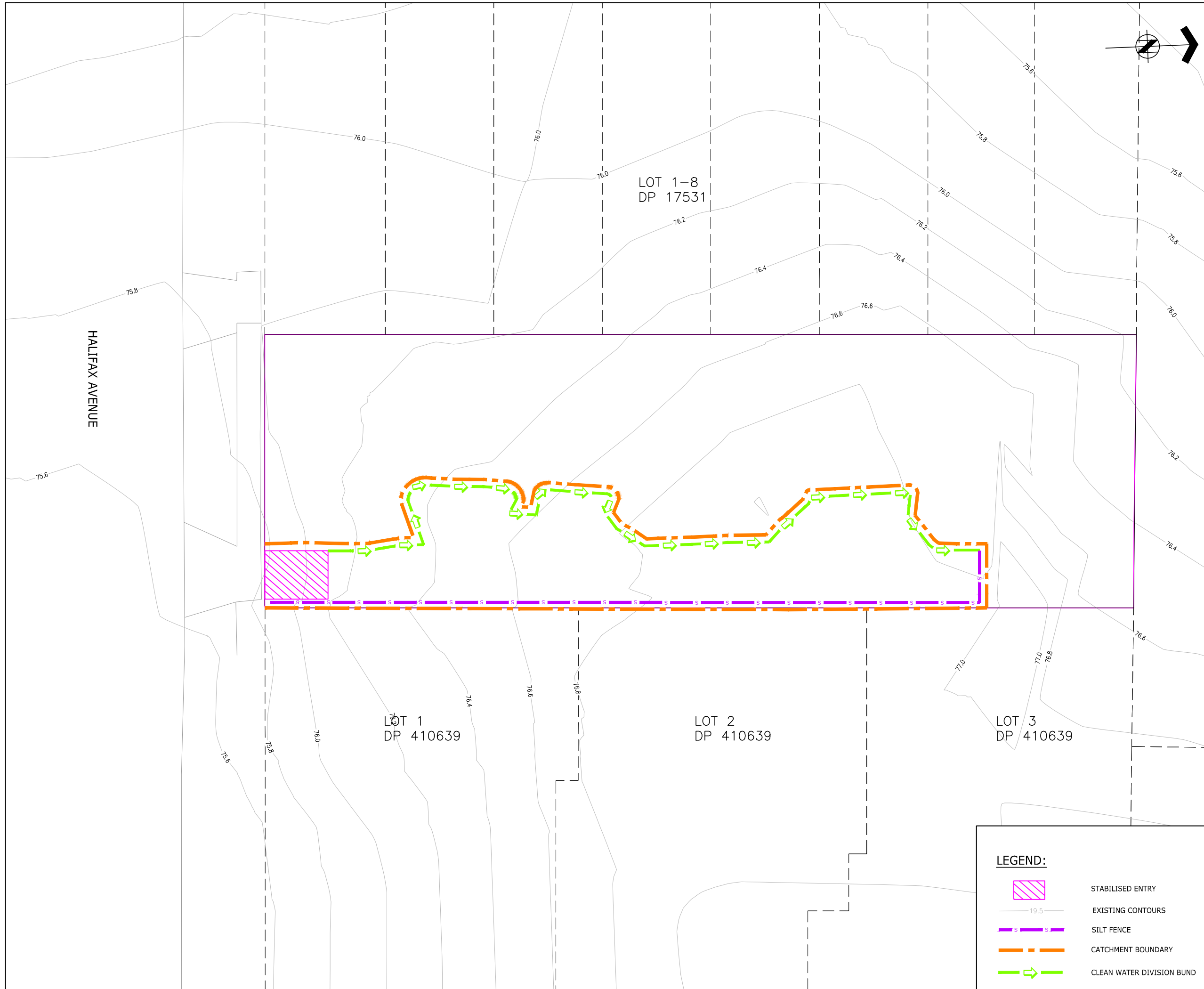


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**NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE OPERATIONAL PRIOR TO ANY OTHER WORKS COMMENCING ON SITE. THE CONTRACTOR SHALL ARRANGE FOR AND ATTEND A PRELIMINARY SEDIMENT CONTROL MEETING ON-SITE WITH THE ENGINEER.
2. A COPY OF THE SEDIMENT CONTROL PLAN SHALL BE AVAILABLE ON THE SITE DURING WORK HOURS AND ALL PERSONNEL INVOLVED IN EARTHWORK ACTIVITIES ON THE SITE (INCLUDING OF SUB-CONTRACTORS) SHALL BE FAMILIAR WITH THE PLAN REQUIREMENTS AS THEY RELATE TO EROSION AND SEDIMENT CONTROL.
3. ALL 'CLEAN WATER' RUNOFF FROM STABILISED SURFACES INCLUDING CATCHMENT AREAS ABOVE THE SITE SHALL BE DIVERTED AWAY FROM EARTHWORK AREAS VIA STABILISED SYSTEM TO PREVENT SURFACE EROSION.
4. ALL EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH THE AUCKLAND COUNCIL 'EROSION AND SEDIMENT CONTROL GUIDELINES FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION GD05'.
5. THE MAIN SILT CONTROL MEASURES FOR THIS SITE ARE:
  - (I) DIVERSION OF 'CLEAN WATER' FROM THE ABOVE CATCHMENTS AROUND THE EARTHWORKS AREA BY MEANS OF DIVERSION DRAINS, AND/OR OTHER APPROVED METHOD AS DIRECTED BY THE ENGINEER.
  - (II) REMOVAL OF SEDIMENT FROM SILT-LADEN WATERS USING 'SILT FENCES'.
  - (III) THAT THE SITE BE STABILISED AGAINST EROSION AS SOON AS PRACTICABLE AND IN A PROGRESSIVE MANNER AS EARTHWORKS ARE FINISHED OVER VARIOUS AREAS OF THE SITE.
  - (IV) MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES AS REQUIRED.
6. FURTHER SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE ENGINEER AS THE PROJECT ADVANCES. THESE WILL BE INSTALLED AS AND WHERE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT THE SITE HAS EFFECTIVE MEASURES OPERATING AT ALL TIMES.
7. CONTRACTOR TO PROTECT ALL EXISTING INFRASTRUCTURE DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING SERVICES PRIOR TO CONSTRUCTION.



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**EIGHTY6 ENGINEERING**


A	CONSENT ISSUE	JW	17.04.23
REF	DESCRIPTION	BY	DATE

PROJECT:  
**2 HALIFAX AVENUE  
EPSOM**

DESCRIPTION:  
**SEDIMENT AND EROSION CONTROL**

DESIGNED: JW	DATE: 05.04.23	SIGNATURE:	PLOT BY: JW
DRAWN: JW	DATE: 05.04.23	SIGNATURE:	PLOT DATE:
CHECKED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY BY:
APPROVED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY DATE:

ISSUE STATUS:  
**CONSENT ISSUE**

PROJECT No: FP210b	SCALES: 1:100-A1 1:200-A3	REV: <b>A</b>
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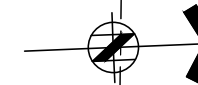
DRAWING No:  
**FP210b-22**

**LEGEND:**

- STABILISED ENTRY
- EXISTING CONTOURS
- SILT FENCE
- CATCHMENT BOUNDARY
- CLEAN WATER DIVISION BUND

REFER TO APPROVED MASTER DRAWINGS FOR ORIGINAL SIGNATURES File: P:\DATA\LOCAL\AUTODESK\C3D 2023\ENU\TEMPLATE Z:\EIGHTY6 WIP\21FP210(B)\_2 HALIFAX AVE, EPSOM (TERRY TLT)\01 CAD\E.DWG







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**NOTES:**

- REFER TO DRAWING DWG-31 FOR COMMON ACCESSWAY LONGITUDINAL SECTION DETAILS
- REFER TO DRAWING DWG-32 FOR COMMON ACCESSWAY TYPICAL CROSS SECTION DETAILS.
- CONCRETE FINISH DETAILS REFER TO LANDSCAPING PLANS.
- CONCRETE EXPANSION JOINT CUTTING:
  - CUTTING DEPTH TO BE 1/4 OF CONCRETE THICKNESS.
  - AREA TO BE LESS THAN 20m<sup>2</sup>

**LEGEND:**

-  VEHICLE CROSSING
-  ACCESSWAY CONCRETE
-  POROUS PAVING
-  DISH CHANNEL
-  PROPOSED PRIVATE CATCHPIT
-  EARTHWORKS BOUNDARY

LOT 1-8  
DP 17531

1  
FFL 77.50

GARAGE  
FFL 77.00

GARAGE  
FFL 77.00

2  
FFL 77.50

GARAGE  
FFL 77.00

3  
FFL 77.50



HALIFAX AVENUE

EXISTING VEHICLE CROSSING  
TO BE UPGRADED, DETAILS  
REFER TO TDM-VX103

PRIVATE  
CATCHPIT

150mm THICK 25MPa  
CONCRETE WITH 665 MESH  
CENTRALLY PLACED ON 100mm  
COMPACTED AP40

DISH CHANNEL

POROUS PAVING

LOT 1  
DP 410639

LOT 2  
DP 410639

LOT 3  
DP 410639



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TEL +64 21 267 0466  
EMAIL [simon@eighty6.co.nz](mailto:simon@eighty6.co.nz)

REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:  
**2 HALIFAX AVENUE  
EPSOM**

DESCRIPTION:  
**COMMON ACCESSWAY  
LAYOUT DETAILS**

DESIGNED: JW	DATE: 05.04.23	SIGNATURE:	PLOT BY: JW
DRAWN: JW	DATE: 05.04.23	SIGNATURE:	PLOT DATE:
CHECKED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY BY:
APPROVED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY DATE:

ISSUE STATUS:  
**CONSENT ISSUE**

PROJECT No: FP210b	SCALES: 1:100-A1 1:200-A3	REV: A
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
DRAWING No:  
**FP210b-30**

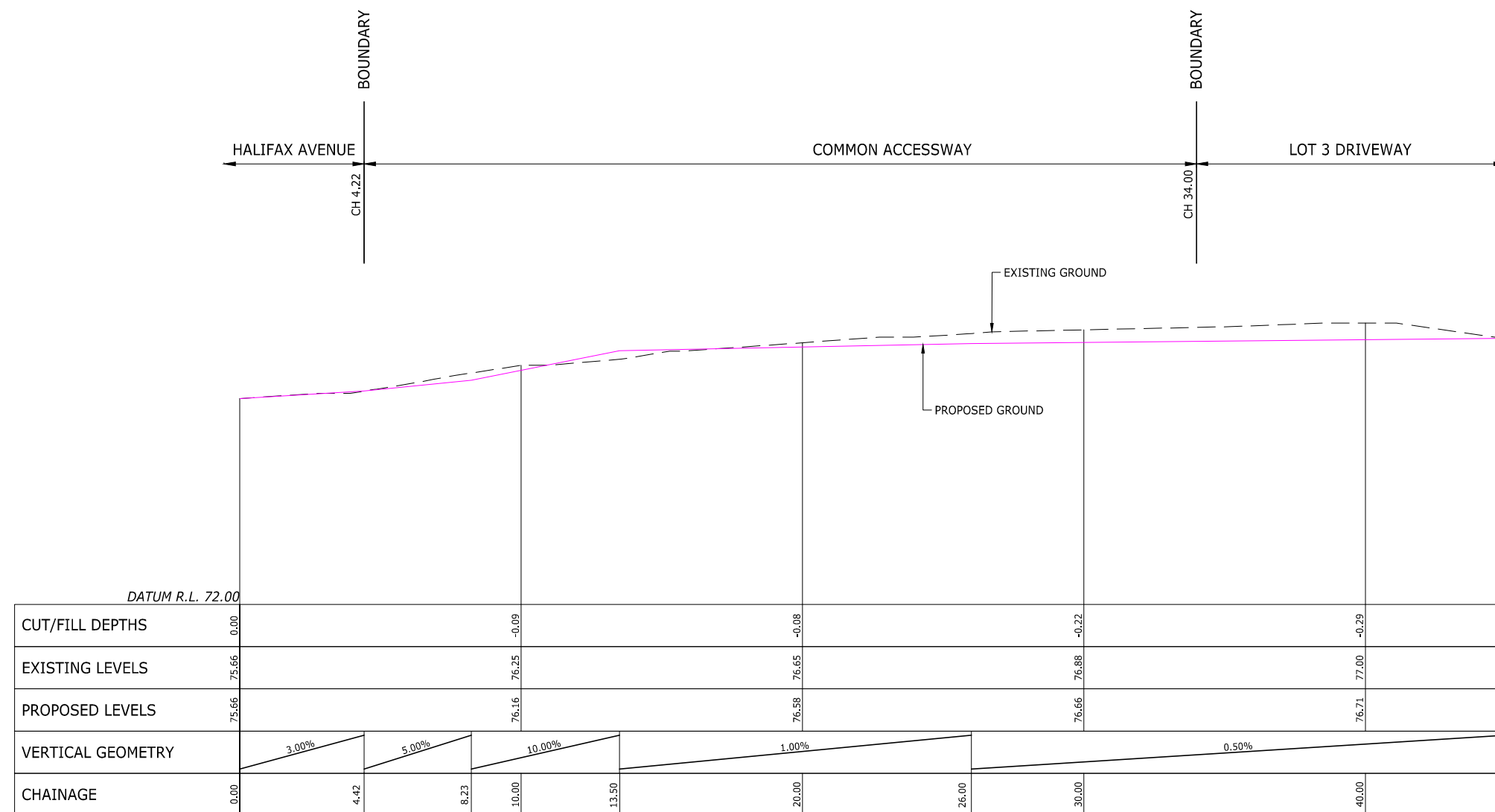
REFER TO APPROVED MASTER DRAWINGS FOR ORIGINAL SIGNATURES File: PPDATA\LOCAL\AUTODESK\C3D 2023\ENU\TEMPLATE Z:\EIGHTY6 WIP\21FP210(B)\_2 HALIFAX AVE, EPSOM (TERRY TLT)\01 CAD\E.DWG

**NOTES:**

1. REFER TO DRAWING FP210b-32 FOR COMMON DRIVEWAY CROSS SECTION DETAILS.
2. CONCRETE FINISH DETAILS REFER TO LANDSCAPING PLANS.

**LEGEND:**

-  INDICATES FINISHED GROUND SURFACE
-  INDICATES EXISTING GROUND SURFACE



COMMON ACCESSWAY  
LONGSECTION BETWEEN 0.00 AND 44.98



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REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:  
**2 HALIFAX AVENUE  
EPSOM**

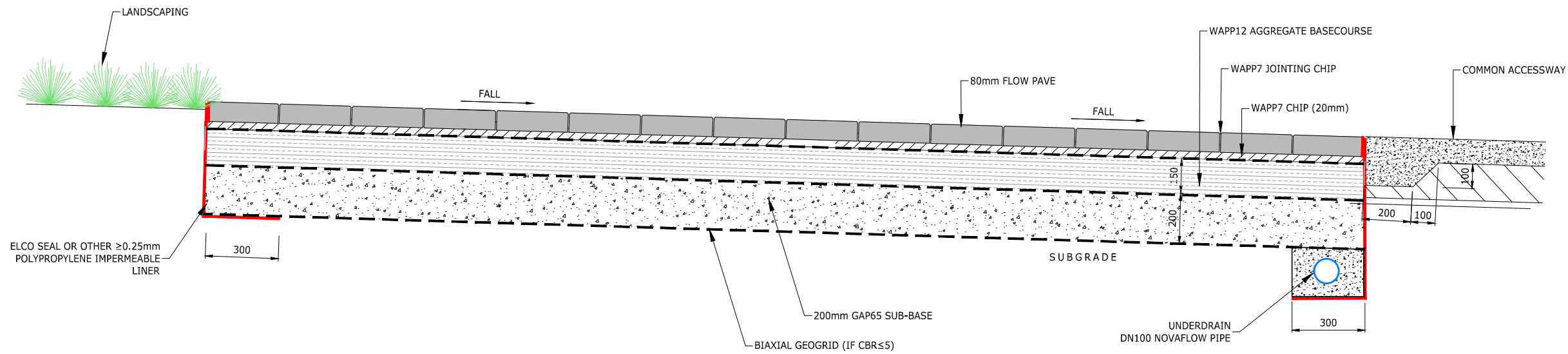
DESCRIPTION:  
**COMMON ACCESSWAY  
LONGITUDINAL SECTION**

DESIGNED: JW	DATE: 05.04.23	SIGNATURE:	PLOT BY: JW
DRAWN: JW	DATE: 05.04.23	SIGNATURE:	PLOT DATE:
CHECKED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY BY:
APPROVED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY DATE:

ISSUE STATUS: **CONSENT ISSUE**

PROJECT No: FP210b	SCALES: 1:100H 1:50V-A1 1:200H 1:100V-A3	REV: <b>A</b>
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DRAWING No:  
**FP210b-31**



**EIGHTY6 ENGINEERING**  
 88 MANUKAU ROAD  
 EPSOM AUCKLAND 1023  
 TEL +64 21 267 0466  
 EMAIL simon@eighty6.co.nz

REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:  
**2 HALIFAX AVENUE  
 EPSOM**

DESCRIPTION:  
**POROUS PAVING DETAILS**

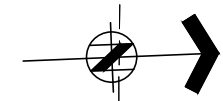
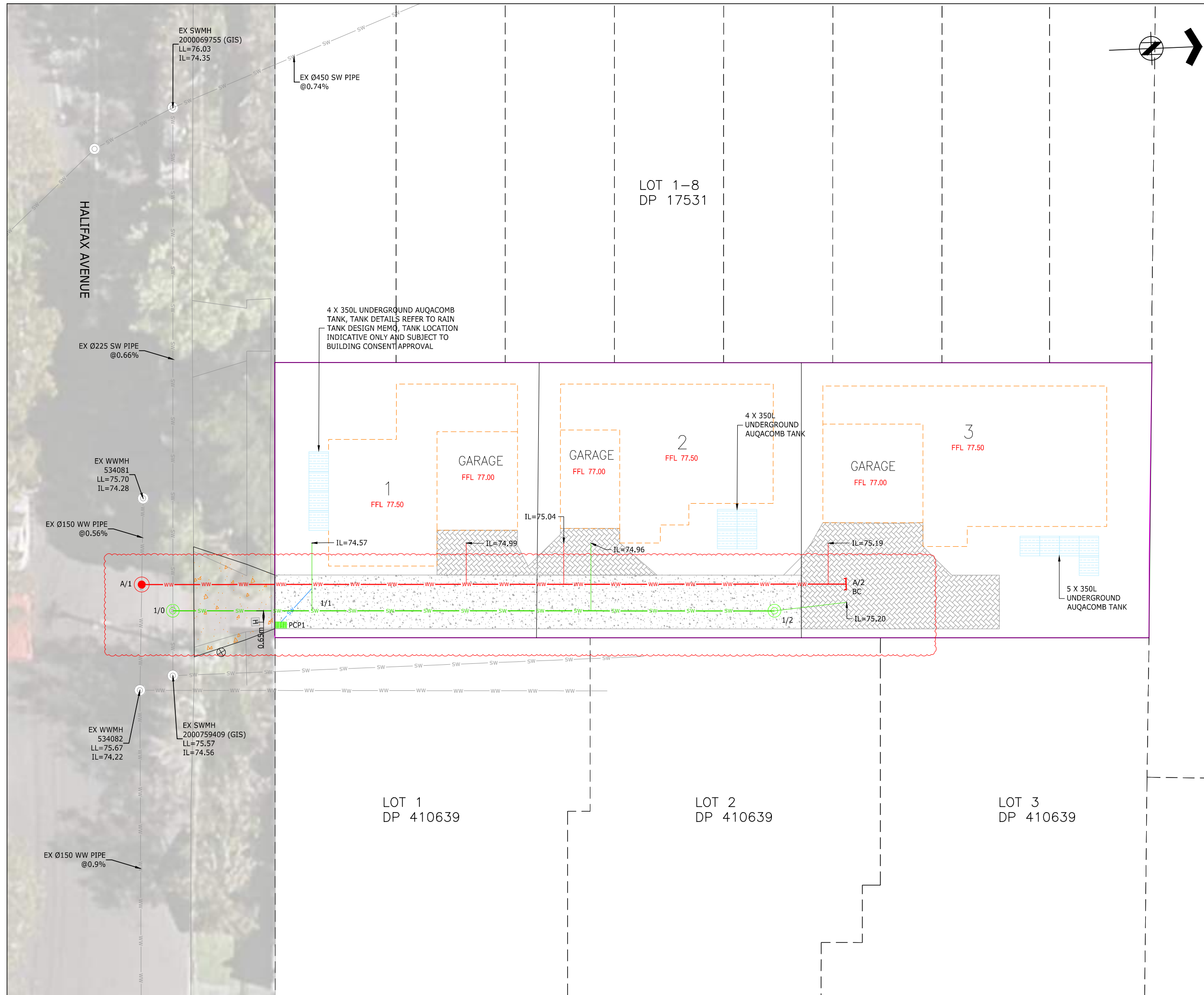
DESIGNED: JW	DATE: 05.04.23	SIGNATURE:	PLOT BY: JW
DRAWN: JW	DATE: 05.04.23	SIGNATURE:	PLOT DATE:
CHECKED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY BY:
APPROVED: SX	DATE: 14.04.23	SIGNATURE:	SURVEY DATE:

ISSUE STATUS: **CONSENT ISSUE**

PROJECT No: FP210b	SCALES: N.T.S	REV: <b>A</b>
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DRAWING No:  
**FP210b-33**





- NOTES:**
- ALL WORKS AND MATERIALS ARE TO COMPLY WITH RELEVANT COUNCIL ENGINEERING STANDARDS.
  - ALL WORKS ON EXISTING STORMWATER, WASTEWATER LINES AND WATERMANS TO BE CARRIED OUT BY AN APPROVED LICENSED CONTRACTOR AT DEVELOPER'S EXPENSE.
  - CONTRACTOR TO LOCATE / MARK AND CONFIRM ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK ON SITE AND PROTECTION OF SAME.
  - ALL STORMWATER PIPES SHALL BE CLASS 4 REINFORCED CONCRETE RUBBER RING JOINTED (RCRRJ) UNLESS SHOWN OTHERWISE.
  - ALL MANHOLES SHALL BE DN 1050 RC WITH HEAVY DUTY LIDS AND CAST IRON COVERS WITH HEAVY DUTY LIDS BEING USED IN PAVEMENT AREAS, UNLESS SHOWN OTHERWISE.
  - ALL PROPOSED LOT CONNECTIONS SHALL BE DN100, UNLESS SHOWN OTHERWISE AND ARE DIMENSIONED FROM THE DOWNSTREAM MANHOLE.
  - BEDDING TO COMPLY WITH RELEVANT COUNCIL DETAILS.
  - GAP65 HARDFILL BACKFILL ALL PIPE CROSSINGS BELOW CARRIAGEWAY/TRAFFIC AREAS 1.0m BEYOND LIMIT OF CARRIAGEWAY.
  - HARDFILL BACKFILL 1.0m EITHER SIDE OF PIPE CROSSOVERS.
  - ALL PIPE CROSSING WITH LESS THAN 150mm TO BE POLYSTYRENE PACKED (30Kg/m<sup>2</sup>) AND HARDFILL BACKFILLED.
  - RAIN TANK DETAILS TO BE PROVIDED AT BUILDING CONSENT STAGE.

- LEGEND:**
- ww— EXISTING WASTEWATER
  - sw— EXISTING STORMWATER
  - sw— PROPOSED PRIVATE STORMWATER
  - ww— PROPOSED WASTEWATER
  - PROPOSED PRIVATE CATCHPIT

**EIGHTY6 ENGINEERING**

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C	S92	JL	14.09.23
B	S92	JW	22.08.23
A	CONSENT ISSUE	JW	17.04.23
REF	DESCRIPTION	BY	DATE

PROJECT:  
**2 HALIFAX AVENUE  
EPSOM**

DESCRIPTION:  
**DRAINAGE LAYOUT PLAN**

DESIGNED:	DATE:	SIGNATURE:	PLOT BY:
JW	05.04.23		JW
DRAWN:	DATE:	SIGNATURE:	PLOT DATE:
JW	05.04.23		
CHECKED:	DATE:	SIGNATURE:	SURVEY BY:
SX	14.04.23		
APPROVED:	DATE:	SIGNATURE:	SURVEY DATE:
SX	14.04.23		

ISSUE STATUS:  
**CONSENT ISSUE**




PROJECT No:	SCALES:	REV:
B	1:100-A1 1:200-A3	C

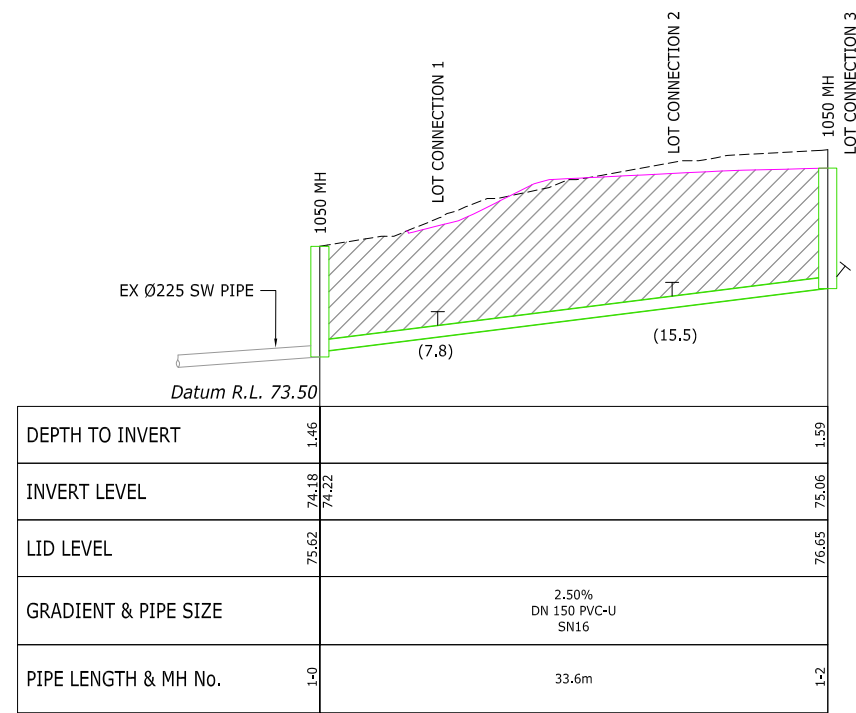
DRAWING No:  
**FP210b-40**

**NOTES:**

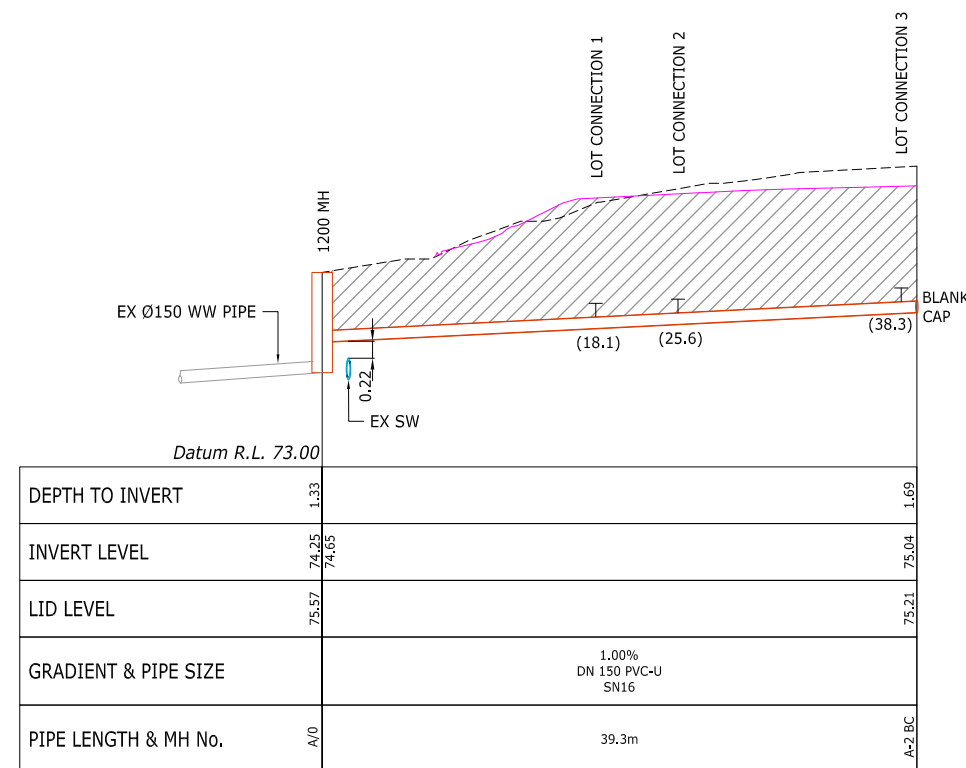
1. STORMWATER CATCHMENT PLAN (10 YEAR STORM) REFER TO DRAWING 42.
2. WASTEWATER CATCHMENT PLAN REFER TO DRAWING 43.
3. FOR STORMWATER ALL WORKS AND MATERIALS TO COMPLY WITH AUCKLAND COUNCIL STORMWATER CODE OF PRACTICE.
4. FOR WASTEWATER ALL WORKS AND MATERIALS TO COMPLY WITH WATERCARE AND AUCKLAND COUNCIL CODE OF PRACTICE.

**LEGEND:**

-  INDICATES FINISHED GROUND SURFACE
-  INDICATES EXISTING GROUND SURFACE
-  HARDFILL BACKFILL



SW LINE 1



WW LINE A

 86 MANUKAU ROAD  
EPSOM AUCKLAND 1023  
TEL +64 21 267 0466  
EMAIL [simon@eighty6.co.nz](mailto:simon@eighty6.co.nz)

B	S92	JL	14.09.23
A	CONSENT ISSUE	JW	17.04.23
REF	DESCRIPTION	BY	DATE

PROJECT:

**2 HALIFAX AVENUE  
EPSOM**

DESCRIPTION:

**STORMWATER AND WASTEWATER  
LONGITUDINAL SECTIONS**

DESIGNED:	DATE:	SIGNATURE:	PLOT BY:
JW	05.04.23		JW
DRAWN:	DATE:	SIGNATURE:	PLOT DATE:
JW	05.04.23		
CHECKED:	DATE:	SIGNATURE:	SURVEY BY:
SX	14.04.23		
APPROVED:	DATE:	SIGNATURE:	SURVEY DATE:
SX	14.04.23		

ISSUE STATUS: **CONSENT ISSUE**







PROJECT No:	SCALES:	REV:
FP210b	1:250H 1:50V-A1 1:500H 1:100V-A3	B

DRAWING No:

**FP210b-41**

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**LEGEND:**

-  PROPOSED SURFACE WATER FLOW DIRECTION
-  EXISTING SURFACE WATER FLOW DIRECTION
-  EARTHWORKS BOUNDARY
-  EXISTING CONTOURS SHOWN AT 0.2m INTERVALS
-  EXISTING CONTOURS SHOWN AT 0.2m INTERVALS
-  OVERLAND FLOW PATH



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 EMAIL simon@eighty6.co.nz

REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:  
**2 HALIFAX AVENUE  
 EPSOM**

DESCRIPTION:  
**EXISTING OVERLAND FLOW PATH  
 AND 100YR FLOOD PLAIN**

DESIGNED:	DATE:	SIGNATURE:	PLOT BY:
JW	05.04.23		JW
DRAWN:	DATE:	SIGNATURE:	PLOT DATE:
JW	05.04.23		
CHECKED:	DATE:	SIGNATURE:	SURVEY BY:
SX	14.04.23		
APPROVED:	DATE:	SIGNATURE:	SURVEY DATE:
SX	14.04.23		

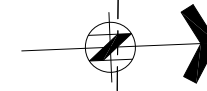
ISSUE STATUS: **CONSENT ISSUE**

PROJECT No:	SCALES:	REV:
FP210b	1:100-A1 1:200-A3	A

DRAWING No:  
**FP210b-45**

REFER TO APPROVED MASTER DRAWINGS FOR ORIGINAL SIGNATURES File: PPDATA\LOCAL\AUTODESK\C3D 2023\ENU\TEMPLATE Z:\EIGHTY6 WIP\21FP210(B)\_2 HALIFAX AVE, EPSOM (TERRY TLT)\01 CAD\E.DWG

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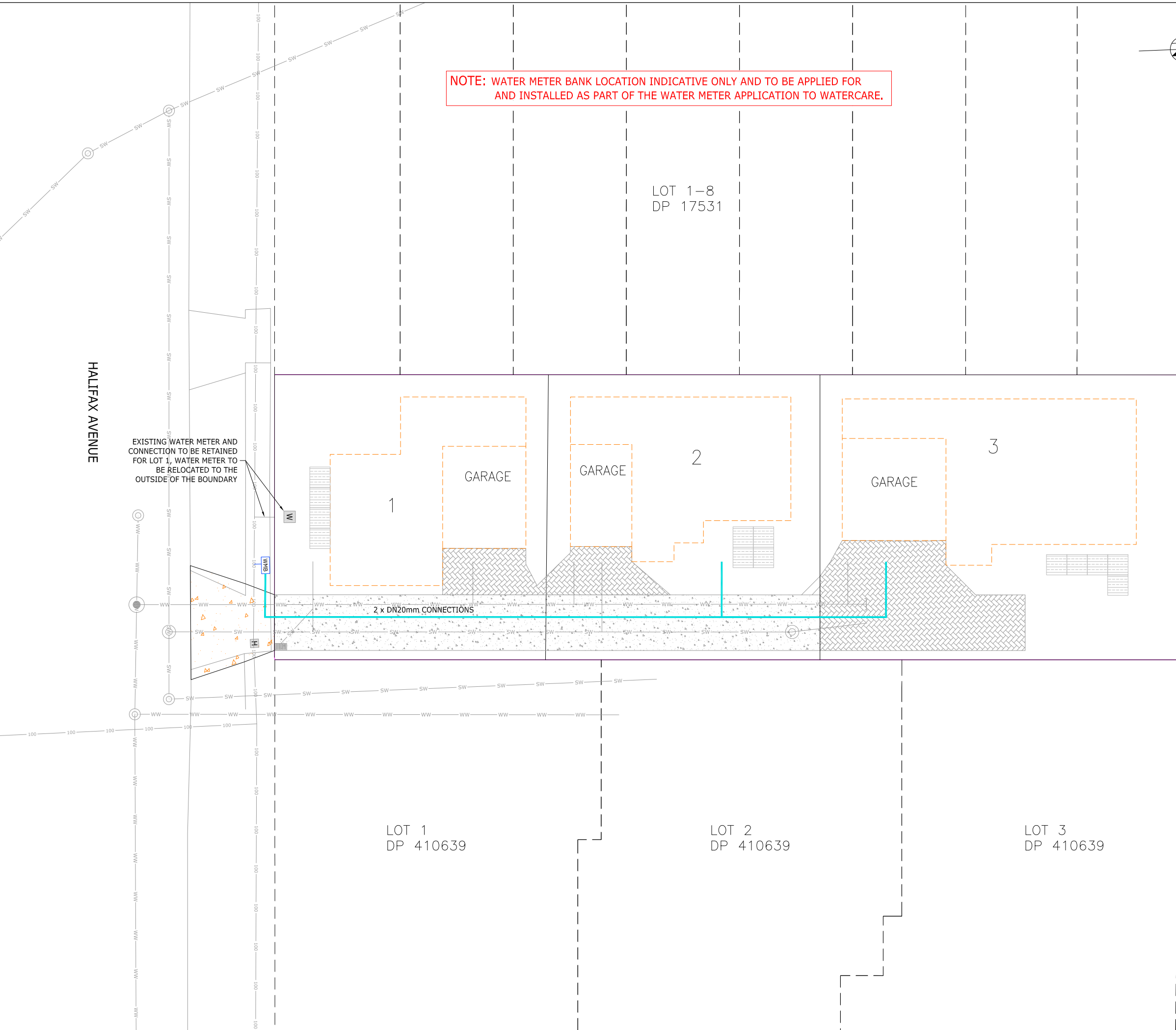


**NOTE: WATER METER BANK LOCATION INDICATIVE ONLY AND TO BE APPLIED FOR AND INSTALLED AS PART OF THE WATER METER APPLICATION TO WATERCARE.**

LOT 1-8  
DP 17531

HALIFAX AVENUE

EXISTING WATER METER AND CONNECTION TO BE RETAINED FOR LOT 1, WATER METER TO BE RELOCATED TO THE OUTSIDE OF THE BOUNDARY



**NOTES:**

1. ALL WATERMAIN MATERIAL AND WORKS TO WATERCARE CODE OF PRACTICE.
2. ALL UTILITY SERVICES MATERIAL AND WORKS SHALL BE TO RELEVANT UTILITY SERVICE PROVIDER STANDARD AND SPECIFICATION.
3. CONTRACTOR TO LOCATE AND PROTECT ALL SERVICES IN THE WORKS AREA AT ALL TIMES DURING WORKS PERIOD.
4. ALL DUCTILE IRON FITTINGS SHALL HAVE A PROTECTIVE THERMALLY BONDED POLYMERIC COATING OF RILSAN NYLON 11 OR PLASCOAT PPA 571 APPLIED IN ACCORDANCE WITH NZS/AS 4158:1996 ON INSIDE AND OUTSIDE OF FITTINGS.
5. SHALLOW PROPOSED SERVICE DUCTS WHERE CROSSING OTHER SERVICES (DRAINAGE, WATERMAIN) SHALL BE CONCRETE CAPPED.
6. WATER METER BANKS ARE NOT REQUIRED AS PART OF EPA.

**LEGEND:**

- EXISTING WATERMAIN
- EXISTING WATERMAIN
- PROPOSED WATER METER BANK
- PROPOSED WATER CONNECTION
- STAGE BOUNDARY
- PROPOSED 63mm OD PE



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A	CONSENT ISSUE	JW	17.04.23
REF	DESCRIPTION	BY	DATE

PROJECT:  
**2 HALIFAX AVENUE  
EPSOM**

DESCRIPTION:  
**WATER PLAN**

DESIGNED:	DATE:	SIGNATURE:	PLOT BY:
JW	05.04.23		JW
DRAWN:	DATE:	SIGNATURE:	PLOT DATE:
JW	05.04.23		
CHECKED:	DATE:	SIGNATURE:	SURVEY BY:
SX	14.04.23		
APPROVED:	DATE:	SIGNATURE:	SURVEY DATE:
SX	14.04.23		

ISSUE STATUS:  
**CONSENT ISSUE**

PROJECT No:	SCALES:	REV:
FP210b	1:100-A1 1:200-A3	A

DRAWING No:  
**FP210b-50**

LOT 1  
DP 410639

LOT 2  
DP 410639

LOT 3  
DP 410639



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**NOTES:**

1. NUMBER AND DIAMETERS OF POWER DUCTS TO BE CONFIRMED BY VECTOR (POWER).
2. NUMBER AND DIAMETERS OF TELECOMMUNICATIONS DUCTS TO BE CONFIRMED BY CHORUS (COMMS).

**LEGEND:**

 COMMON SERVICES TRENCH

  
**EIGHTY6 ENGINEERING**  
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 TEL +64 21 267 0466  
 EMAIL [simon@eighty6.co.nz](mailto:simon@eighty6.co.nz)

REF	DESCRIPTION	BY	DATE
A	CONSENT ISSUE	JW	17.04.23

PROJECT:

**2 HALIFAX AVENUE  
EPSOM**

DESCRIPTION:

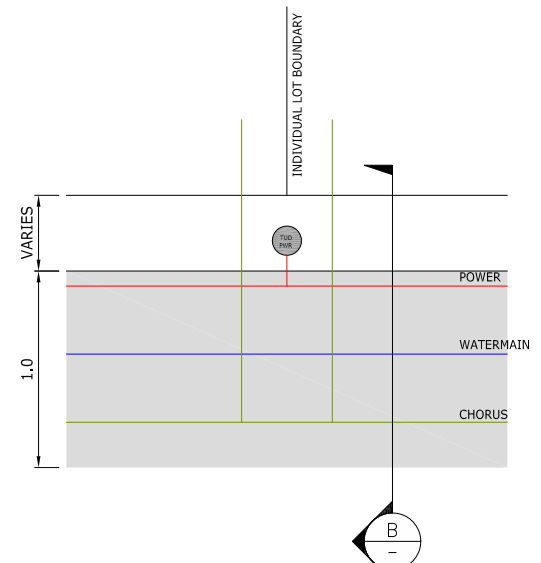
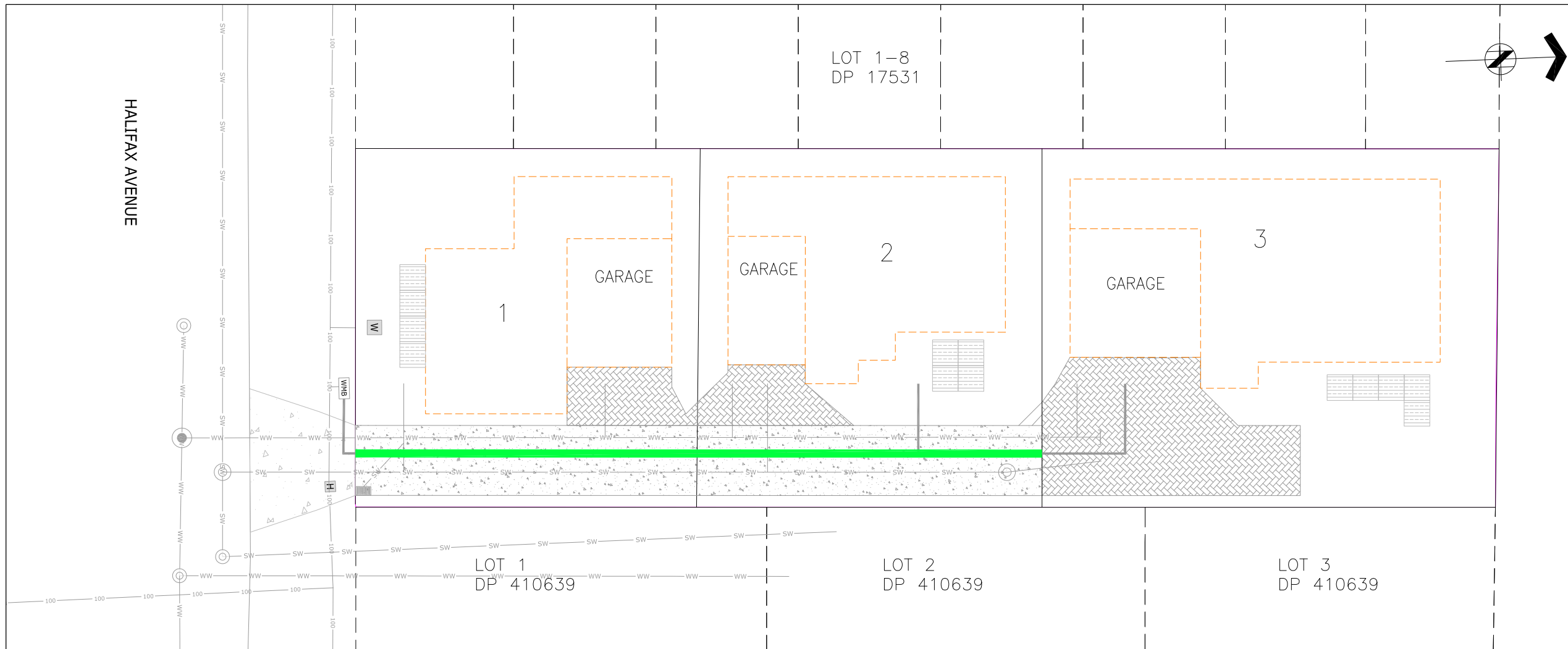
**UTILITY SERVICE TRENCH**

DESIGNED:	DATE:	SIGNATURE:	PLOT BY:
JW	05.04.23		JW
DRAWN:	DATE:	SIGNATURE:	PLOT DATE:
JW	05.04.23		
CHECKED:	DATE:	SIGNATURE:	SURVEY BY:
SX	14.04.23		
APPROVED:	DATE:	SIGNATURE:	SURVEY DATE:
SX	14.04.23		

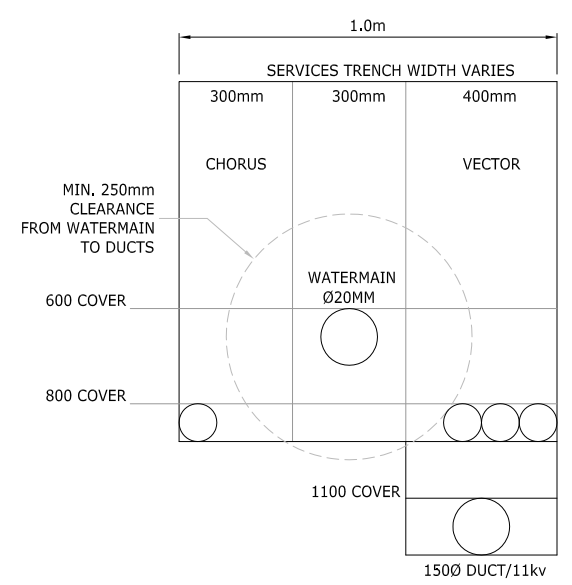
ISSUE STATUS: **CONSENT ISSUE**

PROJECT No:	SCALES:	REV:
FP210b	1:100-A1 1:200-A3	A

DRAWING No: **FP210b-60**



**A** TYPICAL COMMON SERVICES TRENCH DETAILS  
SCALE 1:25-A1 1:50-A3



**B** TYPICAL COMMON SERVICES TRENCH CROSS SECTION  
SCALE 1:10-A1 1:20-A3